

GENERAL PLAN NOTES:

- 1) USE 2X6 OR (DBL. 2X4 @ 12" O.C.) FRAMING AT ALL WALLS OVER 10'-0" IN HEIGHT.
- 2) 8'-0" DOORS @ 10'-0" OR HIGHER PLATE HEIGHTS. (UNO) 6'-8" DOORS @ 9'-0" FL. HT. (UNO)
- 3) ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNO. GLASS SIZE PER MFR. SPECS.
- 4) ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOWS ABOVE BATHUBS TO BE TEMPERED. ANY WINDOW AT STAIRWAY HAVING A SILL HT. BELOW 36" TO BE TEMPERED. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 5) WINDOW MANUFACTURER & THE CONTRACTOR TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 6) PROVIDE 1-3/8" THICK, FIRE RATED OR 20 MINUTE, SOLID CORE, SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- 7) HINGED SHOWER DOORS SHALL SUEING OUTWARD. ANY GLAZING IN SHOWER OR BATHUB DOORS, PANELS OR OTHER ENCLOSURES SHALL BE TEMPERED.
- 8) WEATHERSEAL ALL EXTERIOR DOOR THRESHOLDS, INCLUDING DOOR TO GARAGE (IF APPLICABLE) WEATHER-STRIP ALL ATTIC ACCESS DOOR(S) OR HATCH ACCESS PANELS INTO VOIDS.
- 9) HANDRAILS SHALL BE PROVIDED FOR ALL STAIRS WITH 4 OR MORE RISERS UNO. OR PER CURRENT CODE (IRC). STAIR RAILINGS SHALL BE 36" HT. ABOVE THE STAIR NOSING (NOT LESS THAN 34" NOR ABOVE 38" ABV. STAIR NOSING OF TREADS). THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AS NECESSARY.
- 10) GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SUCH THAT NO OBJECT 4" OR LARGER MAY PASS THROUGH. PROVIDE BLOCKING FOR GUARDRAIL MOUNTING AT STAIRS AS NECESSARY. PROVIDE GUARDRAILS AT PATIOS, PORCHES AND RETAINING WALLS IF DROP EXCEEDS 30" TO FINISHED GRADE.
- 11) FIREPLACE CHIMNEYS SHALL EXTEND 24" (MIN) ABOVE THE HIGHEST POINT OF THE ROOF WITHIN A 10'-0" RADIUS OR UNLESS NOTED OTHERWISE
- 12) CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATAWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 10'-0" OF ACCESS.
- 13) ATTIC VENTING AS REQUIRED PER INSULATION TYPE. SPRAY FOAM VENTING IS NOT REQUIRED. (BLOCK ALL DECORATIVE GABLE/ATTIC VENTS FOR SPRAY FOAM) BATT INSULATION PROVIDE 1.65 NET FREE AREA OF ATTIC VENTILATION PER 150 SF. OF TOTAL COVERED ROOF AREA AS REQUIRED PER CODE.
- 14) THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF (1 1/2") UNO. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- 15) STANDARD PANTRY SHELVING TO BE AS FOLLOWS: LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR. REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- 16) MASONRY VENEER AT INTERIOR WALL. MASONRY TO MATCH EXTERIOR OR PER INTERIOR DESIGNER/ OWNER SELECTION.
- 17) SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION.
- 18) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 19) THE STANDARD MOUNTING HEIGHT FOR SHOULR HEADS IS 1'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 20) WATER HEATER TO BE INSTALLED ON 18" PLATFORM OR APPROVED PREFAB. STAND AS STIPULATED PER CODE. PROVIDE FOR ALL PLUMB, GAS, WATER, HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE WITH. SIZE & QUANTITY OF WH. PER SPECS.
- 21) TANKLESS WATER HEATER TO BE INSTALLED PER CODE. PROVIDE FOR ALL PLUMB, GAS, WATER, HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE WITH. SIZE & QUANTITY OF WH. PER SPECS.
- 22) THE CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, CEILING FANS, EQUIPMENT, CLOSET ROBS, MEDICINE CABINETS AND ANY OTHER ITEMS AS MAY BE REQUIRED.
- 23) UNO. HOSE BIB HT. SHALL NOT EXCEED 24" AFG. VERIFY EXACT LOCATION WITH BUILDER / OWNER.
- 24) UNO. DRYER VENTS TO BE VENTED DIRECTLY THROUGH WALL TO OUTSIDE, OTHERWISE, DOWN THROUGH SLAB AND OUT TO THE SIDE OF THE SLAB.
- 25) PROVIDE ANY/ALL ELECTRICAL REQUIREMENTS TO GAS LOG SET AT GAS FIREPLACES AS REQUIRED PER MANUF. SPECS.
- 26) PROVIDE ELECTRICAL FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH THE CONTRACTOR OR OWNER.
- 27) ALL EXTERIOR LIGHTING TO COMPLY W/ 'NIGHTSKY' COMMUNITY REQUIREMENTS AS REQUIRED.
- 28) ANY AND ALL METAL OBJECTS WITHIN (5') FIVE FEET OF A POOL MUST BE GROUNDED (BONDED) WITH THE POOL & POOL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO: METAL WINDOWS AND DOORS, HANDRAILS, STATUES, ETC.
- 29) BUILDER TO VERIFY ALL REQUIREMENTS FOR WHOLE-HOUSE FIRE SFRINKLER SYSTEM AS REQ'D. PER APPLICABLE CODES.
- 30) SLOPE DECK(S)/ PATIO(S)/ GARAGES AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR (1 1/2") (MIN.) DROP FROM FF. TO EXTERIOR FINISHED SURFACE.
- 31) CUSTOM TILE SHOWER, WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. 2'-4" (UNO.) TEMP. GLASS DOOR WHERE REQ'D. PER PLANS.
- 32) VENTHOOD DESIGN PER OWNER AND/OR INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 33) 20"X20"X2" DROPPED SLAB UNDER WASHER. SLOPE TILE TO DRAIN.
- 34) PROVIDE DRAIN @ ICE MAKER.
- 35) PROVIDE GAS & ELECTRIC @ BBQ GRILL.
- 36) BUILDER TO COORDINATE STUB-OUT LOCATION FOR POOL, ELECTRIC, GAS AND PLUMBING.
- 37) BUILDER TO COORDINATE DROP IN FLOOR SYSTEM TO ACCOMMODATE CURBLESS CONDITION AT ALL FLOOR DRAIN LOCATIONS.

ELECTRICAL NOTES:

- 1) ALL WORK DONE FOR THESE PLANS SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES APPLICABLE. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SHOWN ON DRAWINGS.
- 2) ELECTRICAL SUBCONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE REQUIREMENTS.
- 3) PROVIDE FOR ALL ELECTRICAL REQUIREMENTS TO HVAC UNITS AS REQ'D. PER MANUF. SPECS. PROVIDE LIGHTS NEAR HVAC UNITS IF LOCATED IN ATTIC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND APPROVAL OF WIRING, INSTALLATIONS OF FIXTURES, EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETED ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTORS.
- 5) VERIFY LOCATION OF ALL POWER REQUIREMENTS TO ALL APPLIANCES
- 6) HEIGHT OF FLOOR OUTLETS & PHONE OUTLETS TO BE 12" FROM FROM FINISHED FLOOR TO TOP OF OUTLET. TYPICAL UNLESS NOTED OTHERWISE.
- 7) ALL OUTLETS WITHIN 6'-0" OF A SINK OR LAVATORY, ALL EXTERIOR OUTLETS AND ALL OUTLETS LOCATED IN GARAGE TO BE ON A GFI. CIRCUIT. PROVIDE WATERPROOF GFCI OUTLET WITHIN 5' (25' MAX.) OF EXTERIOR HVAC UNITS. VERIFY HT. W/ BUILDER.
- 8) TANKLESS WH. AND/OR WH ON 18" HT. RAISED PLATFORM. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- 9) VERIFY ALL LOCATIONS OF FLOOR PLUGS & FLOOR PHONE OUTLETS WITH OWNER & BUILDER PRIOR TO INSTALLATION
- 10) HEIGHT OF LIGHT SWITCHES TO BE 48" FROM FINISHED FLOOR TO TOP OF SWITCH PLATE. GANG ALL SWITCHES WHENEVER POSSIBLE. TYPICAL UNLESS OTHERWISE NOTED.
- 11) RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 3' HORIZONTALLY AND 8' VERTICALLY FROM THE TOP OF THE BATHUB RIM OR SHOWER STALL THRESHOLD. THE IDENTIFIED ZONE IS ALL-ENCOMPASSING AND SHALL INCLUDE THE SPACE DIRECTLY OVER THE TUB OR SHOWER STALL.
- 12) WALL LIGHT FIXTURES IN BATHROOMS TO BE CENTERED OVER SINK WHEREVER APPLICABLE.
- 13) PROVIDE FOR LIGHTS IN ATTIC AND SWITCH CLOSE TO ATTIC ACCESS.
- 14) ALL RECESSED LIGHTING (CAN LIGHTS) TO BE THERMAL RATED AND INCLUDED IN BASE BID. VERIFY & COORDINATE WITH BUILDER AND ALLOWANCE SCHEDULE FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- 15) ALL BATHROOM VENTS TO BE VENTED TO OUTSIDE.
- 16) ALL ELECTRICAL PANELS TO COMPLY WITH APPLICABLE ELECTRICAL CODES. ALLOW FOR 30" CLEAR SPACE AROUND PANEL. TOP OF PANEL AT 12" UNLESS NOTED OTHERWISE.
- 17) SMOKE/ CARBON MONOXIDE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN PER ELECTRICAL PLANS. ALL SMOKE DETECTORS TO BE HARDWIRED TO PRIMARY ELECTRICAL SERVICE AND EACH OTHER. PROVIDE BATTERY BACK-UP. SHALL A SMOKE DETECTOR BE REQUIRED IN A KITCHEN THE CONTRACTOR SHALL DETERMINE THE APPROPRIATE UNIT TYPE AND LOCATION TO A COOKING APPLIANCE AS REQUIRED BY THE 2021 IRC SECTION R314.31.
- 18) ELECTRICAL METER TO BE LOCATED IN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER & ELEMENTS. VERIFY WITH BUILDER AS TO FINAL LOCATION OF PANEL.
- 19) PRE-WIRE FOR SECURITY SYSTEM. VERIFY WITH BUILDER FOR ADDITIONAL WIRING WITH BUILDER & OWNER.
- 20) PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 21) PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- 22) ALL POOL EQUIPMENT MUST BE ON A GFCI PER CODE.
- 23) ANY AND ALL METAL OBJECTS WITHIN (5') FIVE FEET OF A POOL MUST BE GROUNDED (BONDED) WITH THE POOL & POOL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO: METAL WINDOWS AND DOORS, HANDRAILS, STATUES, ETC.

GENERAL PROJECT NOTES:

- 1) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND SITE CONDITIONS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES, CONFLICTS OR NONCOMPLIANCE IN THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- 2) THE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES, LAWS, PERMITS, AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 3) DIMENSIONS INDICATED ON THE CONSTRUCTION DOCUMENTS ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE SHEETROCK, FURRINGS OR ANY OTHER WALL FINISHES. DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ANY IMPORTANT DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 4) THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE CONTRACTOR OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE CONTRACTOR WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 5) CONTRACTOR SHALL VERIFY ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES ARE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION AT THE SITE. CONTRACTOR SHALL VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 6) THE CONTRACTOR SHALL PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY LOCATIONS WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE RELATED TO THIS WORK. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY THE CONSTRUCTION PRIOR TO COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 8) CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY.
- 9) CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL DEBRIS AS A RESULT OF THEIR WORK. DEBRIS TO BE REMOVED TO DUMPSTER OR APPROVED DUMP SITES ONLY.
- 10) THESE CONSTRUCTION DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- 11) THESE CONSTRUCTION DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- 12) ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMF PROOFING, ALL FIREBLOCKING LOCATIONS & REQUIREMENTS, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- 13) THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- 14) ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS PHONE: (512) 305-3000.

GENERAL INTERIOR ELEVATION NOTES

- 1) WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- 2) STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- 3) STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- 4) VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER.
- 5) LAVATORIES AND SINKS SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE FIXTURE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 6) APPLIANCES SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE APPLIANCE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL APPLIANCE STYLE AND SIZE PRIOR TO COMMENCING THE JOB.
- 7) SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINETS LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
- 8) ALL MIRRORS PER SPECS. MOUNTING HT. TO BE DETERMINED BY BUILDER AND VERIFIED BY OWNER OR INTERIOR DESIGNER.
- 9) CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- 10) PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 11) PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- 12) ENTERTAINMENT CABINET / MEDIA CENTER. CABINET MAKER TO VERIFY CABINET WILL ADEQUATELY ACCOMMODATE OWNERS PROPOSED TV & AUDIO / VIDEO EQUIPMENT. UNO. DRAWERS TO BE EXTENDIBLE "PULL-OUT" FOR EASY ACCESS TO REAR OF COMPONENTS/EQUIPMENT. PROVIDE THRUHOLES & GROMMETS AS REQ'D. FOR CABLE CONNECTIONS.
- 13) TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 14) CROWN HOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER SELECTIONS.
- 15) SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.
- 16) ALL MEDICINE CABINETS TO BE PER SPECS. AND MOUNTED PER MANUFACTURER'S RECOMMENDATIONS.
- 17) ALL INTERIOR WALL FINISHED TO BE GYP. BD. (UNO.)

GENERAL SITE NOTES:

- 1) BUILDER TO RESCULPTURE TOPOGRAPHY AND/OR FINISHED GRADE AS REQ'D. TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM BUILDING & TO PREVENT NEGATIVE IMPACT ON ADJACENT PROPERTY.
- 2) FINAL LOCATION OF RESIDENCE AND FINISHED FLOOR ELEVATION TO BE VERIFIED BY BUILDER AND APPROVED BY OWNER PRIOR TO SLAB FORMWORK BEING ERCTED.
- 3) MAXIMUM AMOUNT OF EXPOSED FOUNDATION TO BE 18" UNLESS NOTED OTHERWISE BY CITY, COUNTY OR SUBDIVISION REQUIREMENTS.
- 4) VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION. UTILITY LINE LOCATIONS ARE APPROXIMATES - GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- 5) BUILDER TO PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- 6) BUILDER TO PROVIDE FOR EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7) BUILDER TO PROVIDE FOR STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 8) LOCATION OF MAILBOX (IF APPLICABLE) AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED BY OWNER & BUILDER PRIOR TO INSTALLATION.
- 9) ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- 10) ALL EXTERIOR MECH & HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS. DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- 11) TRASH CAN TO BE STORED IN GARAGE OR IN AN AREA SCREENED FROM PUBLIC VIEW AND PROTECTED FROM ANIMAL ACCESS.
- 12) ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- 13) CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
- 14) LANDSCAPE PLAN & PERMITS BY OTHERS.
- 15) POOL, POOL DECK, BY OTHERS, BLDR. TO PROVIDE POOL FENCE W/ LOCKABLE GATE PER NATIONAL SAFETY CODE & BLDR. SPECS.

SPRINKLER SYSTEM (IF REQUIRED):

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGN, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC F2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY IF REQUIRED. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (NFPFSS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

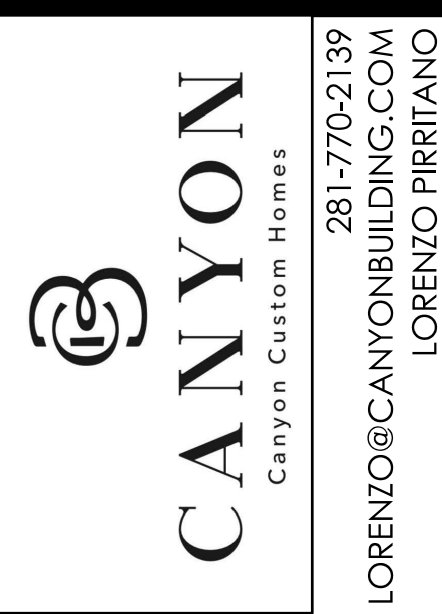
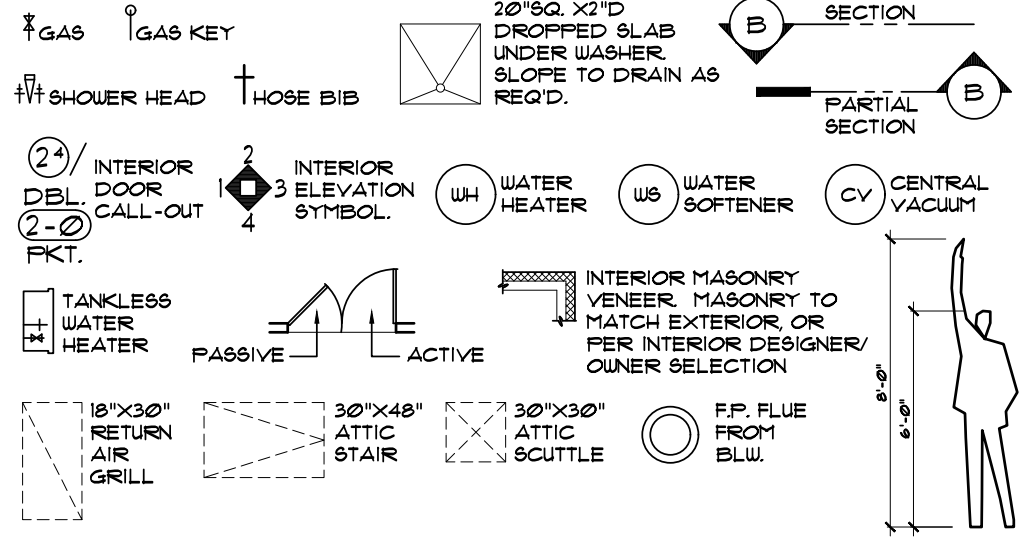
GENERAL ROOF FRAMING NOTES:

- 1) ROOF PITCH AND OVERHANG TO BE AS NOTED ON PLANS. ROOFING MATERIAL PER SPECIFICATIONS.
- 2) BUILDER TO VERIFY SIZE & SPACING OF ALL RAFTERS OR TRUSSES PRIOR TO CONSTRUCTION. RAFTER SPACING TO CONFORM TO ROOFING MATERIAL REQUIREMENTS (REFER TO ENGINEERING DOCUMENTS).
- 3) HIP'S, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS, OR PER ENGINEER PLANS.
- 4) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 5) UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- 6) FURLIN BRACE RAFTERS AS REQUIRED AND PROVIDE COLLAR TIES 4'-0" O.C. ON ALL RIDGES. FLYOUT RAFTERS ARE NOT SHOWN ON PLANS. BUILDER/FRAMER TO INSTALL PER STANDARD FRAMING PRACTICES.
- 7) ALL LOAD BEARING HEADERS, CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER. ROOF AND FLOOR TRUSS DESIGN & SPACING PER ENGINEER'S SPECIFICATIONS.
- 8) WALLS OVER 10'-0" TO BE 2X6 FRAMED. USE DBL. 2X4 @ 12" O.C. FRAMING IF 6" WALLS ARE NOT POSSIBLE.
- 9) BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO ALL APPLICABLE BUILDING CODES.

TYP. ABBREVIATIONS:

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| ABV - ABOVE | LIN - LINEN |
| ADJ. - ADJUSTABLE | LT. - LIGHT |
| A/C - AIR CONDITIONING | MAS. - MASONRY |
| AFF. - ABOVE FINISHED FLOOR | MAX. - MAXIMUM |
| AFG. - ABOVE FINISHED GRADE | MIN. - MINIMUM |
| APPRX. - APPROXIMATELY | MULL. - MULLED |
| ARCH. - ARCHITECT | OFFER - OFFERABLE |
| B.I. - BUILT-IN | MTL. - METAL |
| BLW. - BELOW | N.T.S. - NOT TO SCALE |
| CLG. - CEILING | PED. - PEDESTAL TYPE SINK |
| C/O - CASED OPENING | PKT. - POCKET |
| COL. - COLUMN | PL. HT. - PLATE HEIGHT |
| CONC. - CONCRETE | R/A - RETURN AIR GRILL |
| CONT. - CONTINUOUS | REF. - REFERENCE / REFER TO |
| CPT. - CASPIET | REG. - REFRIGERATOR |
| CT - CASEMENT WINDOW | SH - SINGLE HUNG |
| CV - CENTRAL VACUUM | SHD - SINGLE HUNG DIVIDED LT. |
| DBL. - DOUBLE | SHT. - SIMILAR |
| DISP. - DISPOSAL | SLDR - SLIDER |
| DH - DBL. HUNG WINDOW | SLPD - SLOPED |
| DL - DIVIDED LT. | SQ. - SQUARE |
| DTL. - DETAIL | SQ. FT. - SQUARE FOOT |
| DR. - DOOR | S/S - SHEET ROCK |
| DRSS. - DRESSING | S.R.O. - SHEET ROCK OPENING |
| DRSSR. - DRESSER | S.C. - STAINED CONC. |
| DW - DISH WASHER | SSC - STAINED & SCORED CONC. |
| DWG. - DRAWING | STOR. - STORAGE |
| ELEC. - ELECTRICAL | TEMP. - TEMPERED |
| ELEV. - ELEVATION | TC - TRASH COMPACTOR |
| F.D. - FURR-DOWN | TD - TRASH DRAUER |
| FF - FINISHED FLOOR | TG - TONGUE & GROOVE |
| FG - FIXED GLASS | TRSM. - TRANSOM |
| FIN. - FINISHED | TYP. - TYPICAL |
| FLR. - FLOOR | UCL. - UNDER CABINET LT'S |
| FR. DR. - FRENCH DOOR | UNO. - UNLESS NOTED OTHERWISE |
| H.B. - HOSE BIB | WC - WATER CLOSET |
| HDR. - HEADER | WIC - WALK IN CLOSET |
| H.H. - HEADER HEIGHT | UD. - WOOD |
| H5 - HORIZONTAL SLIDER | UDU. - WINDOW |
| HVAC - HEATING/VENTILATION/AIR | W/ - WITH |
| CONDITIONING | W/O - WITHOUT |
| HT. - HEIGHT | UP - WATERPROOF |
| IB. - IRONING BOARD | WS - WATERSOFTENER |
| K.S. - KNEE SPACE | |

LEGEND:

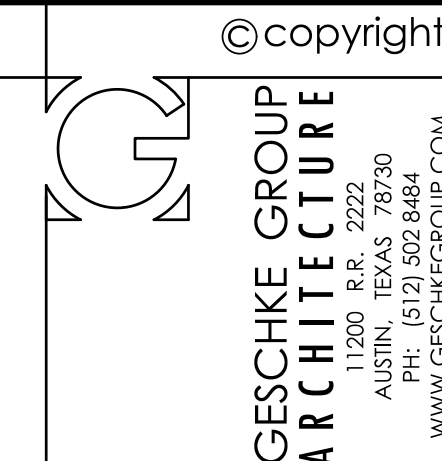


281-770-2139
LORENZO@CANYONBUILDING.COM
LORENZO PERRITANO

A CUSTOM SPECULATIVE DESIGN FOR
CANYON CUSTOM HOMES
CANYON CROSSING VW
DRIPPING SPRINGS, TX
LOT 4 RANCHES AT DRIPPING SPRINGS BLANCO COUNTY

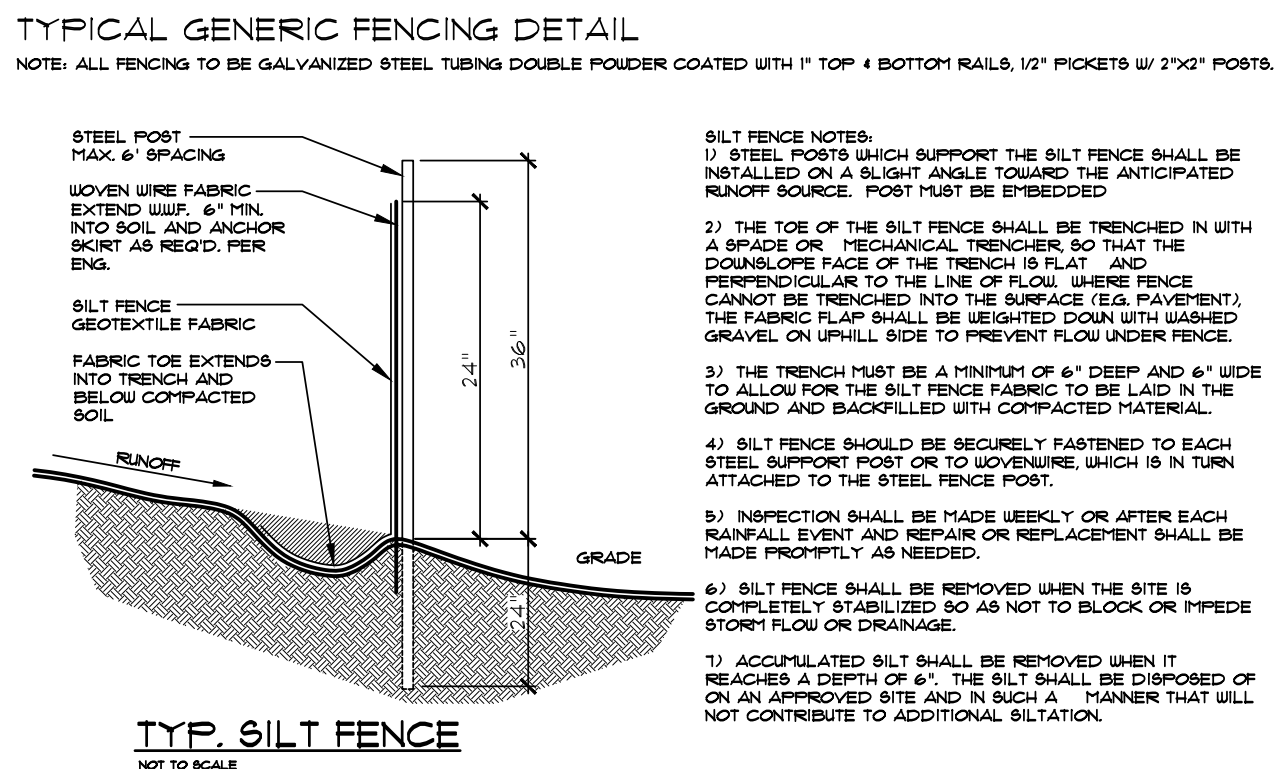
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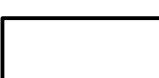


CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

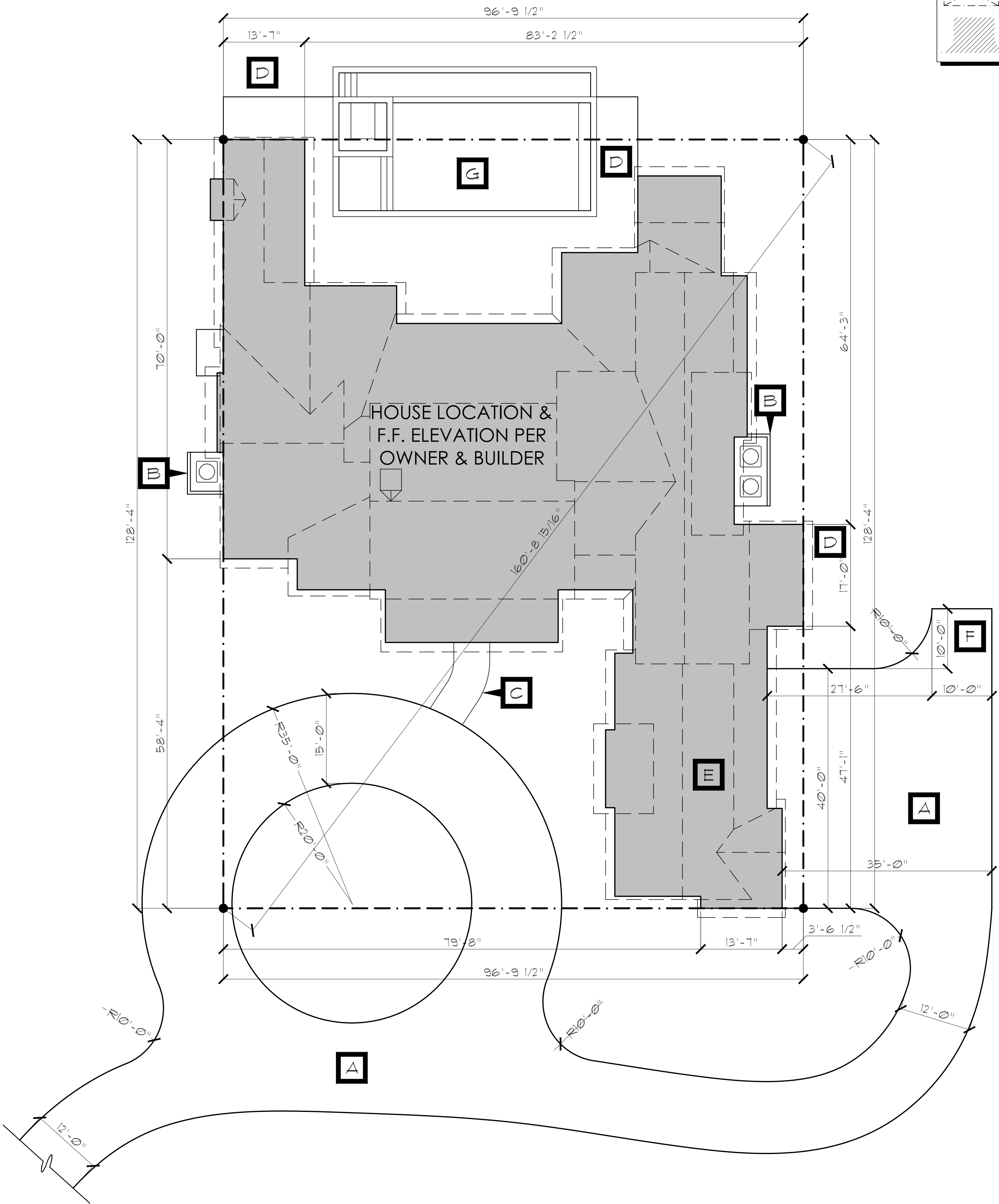
A-1



GENERAL SITE LEGEND

	CONSTRUCTION SAFETY FENCE		MAILBOX
	SILT FENCE		PORT. TOILET
	FENCE		TREE TO BE REMOVED
	TREE PROTECTION FENCE		TREE TO REMAIN
	TRENCH LINE		
	NEW CONTOUR LINE		
	MATERIAL STORAGE LOCATION DURING CONSTRUCTION		AC PAD (1 OR 2 W/ SCREEN WALL PER BLDG. SPECS.
	TEMPORARY CONSTRUCTION DUMPSTER		DRAINAGE ARROW (DIRECTION OF FLOW)
	CONSTRUCTION ENTRY: APPROX. 12' x 20' AREA OF CRUSHED STONE (2" x 3')		DRIVEWAY. FINISH PER BLDG. SPECS.

- ## SITE PLAN NOTES:
- | | |
|----------|--|
| A | DRIVEWAY LAYOUT AND MATERIALS PER BLDG. SPECS. |
| B | A/C PADS W/ MASONRY SCREEN WALL PER DEED RESTRICTIONS. |
| C | 6' LANDSCAPED WALKWAY PER LANDSCAPE DESIGNER. |
| D | PROVIDE 42" HT. RAILING AT PATIOS AND PORCHES IF DROP EXCEEDS 30" TO FINISHED GRADE. |
| E | TRASH RECEPTACLE TO BE LOCATED IN GARAGE. |
| F | GUEST PARKING PER DEED RESTRICTIONS. |
| G | POOL BY OTHERS. BLDG. TO PROVIDE POOL FENCE W/ LOCKABLE GATE PER NATIONAL SAFETY CODE. |



SITE PLAN

SCALE: 1" = 10'-0"

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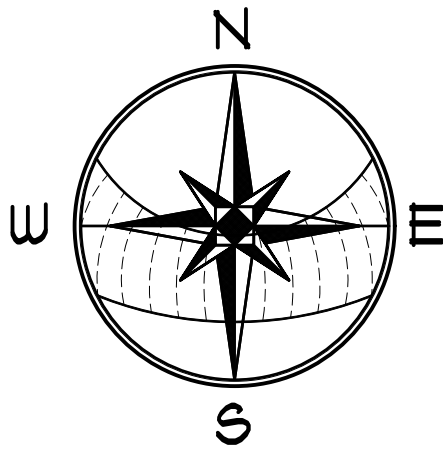
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CANYON HOMES
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PROJ. NO.: 25008
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A-2

DMV



SITE PLAN (OVERALL)
SCALE: 1" = 20'-0"



CANYON
Canyon Custom Homes

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LORENZO PIRITANO

A CUSTOM SPECULATIVE DESIGN FOR

CANYON CUSTOM HOMES

CANYON CROSSING VW
DRIPPING SPRINGS, TX

LOT 4 RANCHES AT DRIPPING SPRINGS BLANCO COUNTY

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CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

SPECIAL CONSTRUCTION NOTES

- 1

(3) TANKLESS WH. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND FAN 4 DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- 2

HVAC UNIT IN ATTIC/MECH. PROVIDE HARDWARE, PLUMB, FAN 4 DRAINS AS REQ'D. 3/4" PLYWOOD DECKING THROUGHOUT
- 3

36" HT. 4 16" DEEP EATING BAR SUPPORT W/ STEEL PLATE. 6" WALL BELOW.
- 4

48" FULL MASONRY F.P. PER BLDR. SPECS. INSTALL PER MANUF. SPECS. PROV. GAS, 4" OR ELEC. AS REQ'D. PER F.P. SPECIFICATION. 20" DEEP RAISED MASONRY HEARTH PER INTERIOR ELEVATION.
- 5

4" MASONRY VENEER AT WALL. MASONRY TO MATCH EXTERIOR OR PER INTERIOR DESIGNER/OWNER SELECTION.
- 6

SLOPE SLAB AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR 1 1/2" (MIN.) DROP FROM FF. TO DECK/PATIO FINISHED SURFACE.
- 7

6" FREE-STANDING TUB PER SPECS. BLDR. TO COORDINATE PLUMBING LOCATIONS FOR THE DRAIN AND FAUCET PER MANUF. SPECS.
- 8

CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. SHAMPOO NICHES PER INT. ELEV.
- 9

PROV. GAS, 4 ELEC. FOR BBQ GRILL OR PER BLDR. SPECS.
- 10

PROVIDE IN-FLOOR RADIANT HEATING • MASTER BATH. VERIFY ELECTRICAL AND PLUMBING REQUIREMENT PER MANUF. SPECS. AND/OR BLDR. SPECS.
- 11

EXPOSED RAFTERS 24" ON CENTER W/ WOOD CLG.
- 12

VENTHOOD PER INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 13

10"X10" EXTERIOR WOOD COL. PER DETAIL 8/D-2.
- 14

10"X10" INTERIOR WOOD COL. PER DETAIL 8/D-2.
- 15

STRUCTURAL SUPPORT FOR MASONRY ABV. REFER TO ENGINEER SPECS.
- 16

10"X10" WOOD TRUSSES • GREAT ROOM PER BLDR. SPECS.
- 17

8"X12" DECO. WOOD BEAM • GUEST BEDROOM PER BLDR. SPECS.
- 18

6"X8" DECO. WOOD BEAMS • GUEST BEDROOM PER BLDR. SPECS.
- 19

8"X12" DECO. WOOD BEAM • MASTER SUITE PER BLDR. SPECS.
- 20

6"X8" DECO. WOOD BEAMS • MASTER SUITE PER BLDR. SPECS.
- 21

6"X8" DECO. WOOD BEAMS • OFFICE/ BEDROOM 2 PER BLDR. SPECS.
- 22

10"X12" WOOD RIDGE BEAM PER ENGINEER/BLDR. SPECS.
- 23

30"X30" ATTIC ACCESS SCUTTLE.
- 24

CONCEALED STRUCTURAL BEAM PER ENGINEER SPECS.
- 25

10"X12" EXTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- 26

8"X10" WOOD BEAM • KITCHEN/ GREAT ROOM PER ENGINEER/BLDR. SPECS.
- 27

24"X42" S.R. OPENINGS. W/ SLOPED SILL. REFER TO INT. ELEV.
- 28

OUTDOOR SHOWER PER BLDR. SPECS. SLOPE AS REQ'D. TO DRAIN WATER.
- 29

8'-0" HT. WALL W/ STEEL POST IMBEDDED IN SLAB.
- 30

30" DEEP BASE CABINETS.
- 31

36" HT. RAILING PER SPECS. 4 CODE.
- 32

40" HT. GUARD RAILING PER SPECS. 4 CODE.
- 33

SOUND INSULATE WALL • MASTER SUITE/ MASTER BATH.
- 34

30" DEEP BASE CABINETS AND 18" DEEP UPPER CABINETS • UTIL.
- 35

6"X8" DECO. WOOD BEAMS • KITCHEN PER BLDR. SPECS.
- 36

2-2X10 DECO. WOOD RIDGE BEAMS W/ 2X8 KNEE BRACES 4 2X8 DECO. WOOD LATERAL BEAMS W/ 1X6 T&G CEILING. REFER TO INT. ELEV. 6/D-1.
- 37

WD. IN-LAY CLG. PER BLDR. SPECS.
- 38

BLDR. TO COORDINATE COUNTER HT. W/ WINDOW SILL.
- 39

CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. TEMP. GLASS ENCLOSURE PER BLDR. SPECS.
- 40

PROVIDE 1-3/8" THICK FIRE RATED OR 20 MINUTE, SOLID CORE, SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- 41

PROVIDE POT-FILLER FAUCET PER BLDR. SPECS.
- 42

BLDR. TO FRAME GARAGE ATTIC FOR HEAVY STORAGE. PROVIDE 3/4" PLYWOOD DECKING AS REQ'D. PER OWNER.
- 43

TYPE X 5/8" GYPSUM BOARD IS REQUIRED • CEILING IN GARAGE. REFER TO I.R.C. TABLE 302.6 DUELLING/ GARAGE SEPARATION.
- 44

GAS LANTERNS. PROVIDE GAS AS REQ'D. PER CODE.
- 45

10"X12" INTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- 46

STONE-TO-SIDING TRANSITION PER BLDR. SPECS.
- 47

10"X10" EXTERIOR WOOD COL. ON 16" TALL CONCRETE BASE. REF. TO EXT. ELEVATION.
- 48

12'-0" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW W/ 4'-8" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW PER OWNER'S SELECTION. (VERIFY EXACT DIMENSIONS).
- 49

STEEL CORNER POST PER WINDOW/DOOR MANUF. MATCH WINDOW MAT. 4 COLOR.
- 50

2040 DECO WOOD SHUTTERS • 8'-0" H.H. FROM UPPER FIN. FLR. REF. TO EXT. ELEV.
- 51

EDGE OF WALL ABV.

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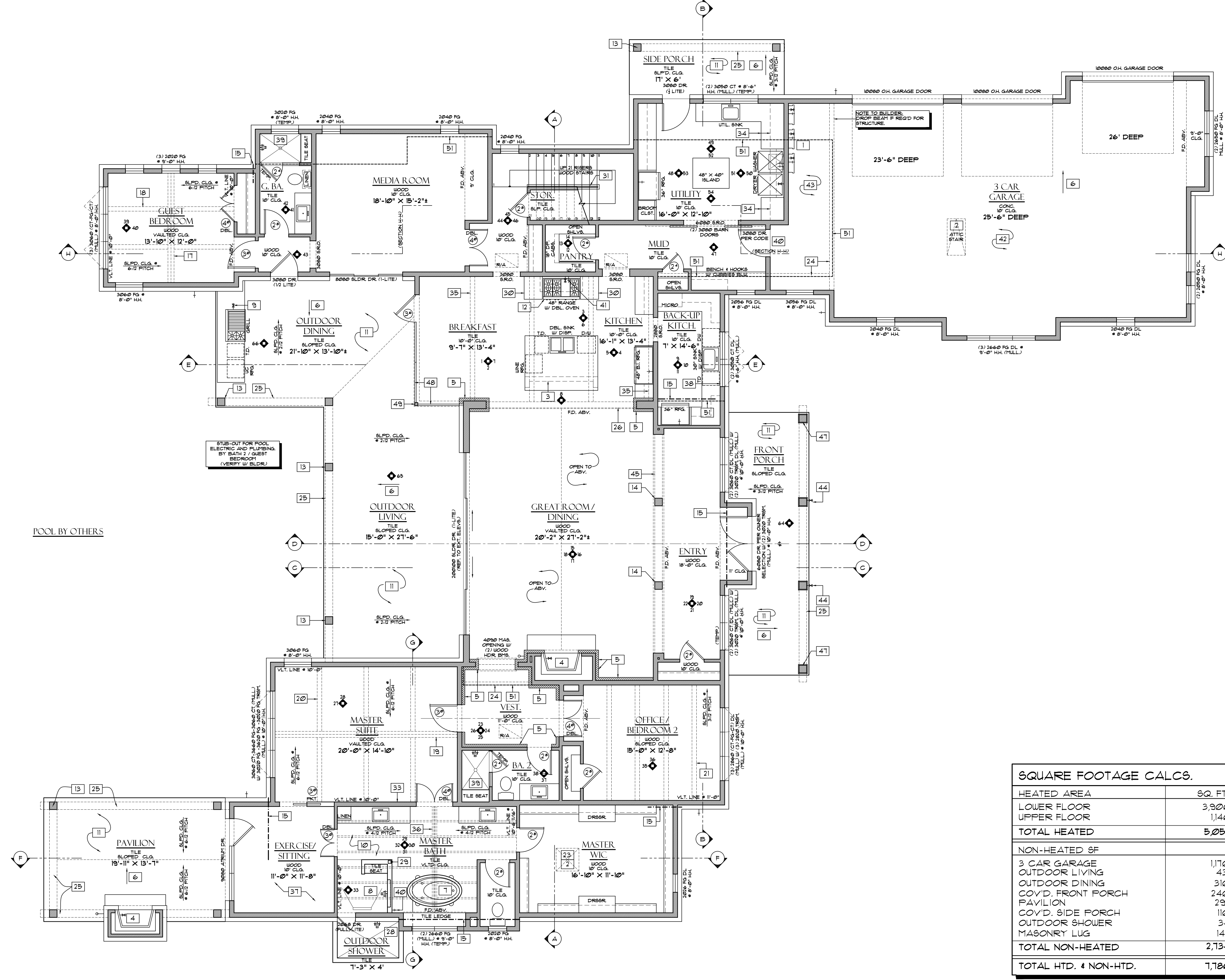
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SPEC. R.D.S. #4
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DATE: 28 MAR. 2025

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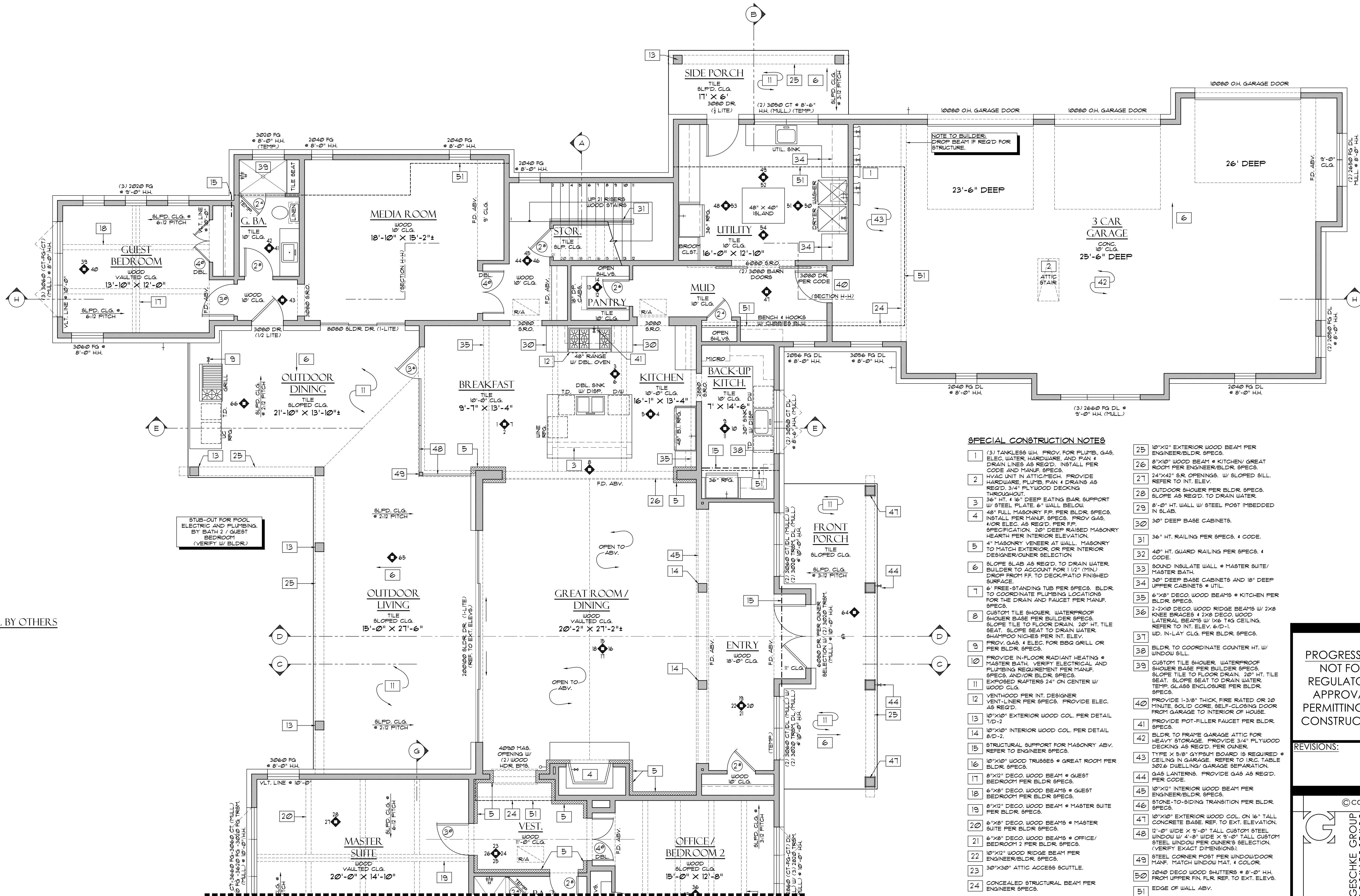
DMV



SQUARE FOOTAGE CALCS.	
HEATED AREA	SQ. FT.
LOWER FLOOR	3,906
UPPER FLOOR	1,146
TOTAL HEATED	5,052
NON-HEATED SF	
3 CAR GARAGE	1,170
OUTDOOR LIVING	431
OUTDOOR DINING	310
COVD. FRONT PORCH	240
PAVILION	292
COVD. SIDE PORCH	110
OUTDOOR SHOWER	34
MASONRY LUG	147
TOTAL NON-HEATED	2,734
TOTAL HTD. & NON-HTD.	7,786

LOWER FLOOR PLAN (OVERALL)

SCALE: 1/8" = 1'-0"



SPECIAL CONSTRUCTION NOTES

- (3) TANKLESS WH. PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- HVAC UNIT IN ATTIC/MECH. PROVIDE HARDWARE, PLUMB, PAN & DRAINS AS REQ'D. 3/4" FLYWOOD DECKING THROUGHOUT.
- 36" HT. 4 1/2" DEEP EATING BAR, SUPPORT W/ STEEL PLATE, 6" WALL BELOW.
- 48" FULL MASONRY FP. PER BLDG. SPECS. INSTALL PER MANUF. SPECS. PROV. GAS, 4" OR ELEC. AS REQ'D. PER FP. SPECIFICATION. 20" DEEP RAISED MASONRY HEARTH PER INTERIOR ELEVATION.
- 4" MASONRY VENEER AT WALL. MASONRY TO MATCH EXTERIOR, OR PER INTERIOR DESIGNER/OWNER SELECTION.
- SLOPE SLAB AS REQ'D. TO DRAIN WATER BUILDER TO ACCOUNT FOR 1 1/2" (MIN.) DROP FROM FF. TO DECK/PATIO FINISHED SURFACE.
- 6" FREE-STANDING TUB. PER SPECS. BLDG. TO COORDINATE PLUMBING LOCATIONS FOR THE DRAIN AND FAUCET PER MANUF. SPECS.
- CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. SHAMPOO NICHES PER INT. ELEV.
- PROV. GAS & ELEC. FOR BBQ GRILL OR PER BLDG. SPECS.
- PROVIDE IN-FLOOR RADIANT HEATING * MASTER BATH. VERIFY ELECTRICAL AND PLUMBING REQUIREMENT PER MANUF. SPECS. AND/OR BLDG. SPECS.
- EXPOSED RAFTERS 24" ON CENTER W/ WOOD CLG.
- VENTHOOD PER INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 10"X10" EXTERIOR WOOD COL. PER DETAIL T/D-2.
- 10"X10" INTERIOR WOOD COL. PER DETAIL B/D-2.
- STRUCTURAL SUPPORT FOR MASONRY ABV. REFER TO ENGINEER SPECS.
- 10"X10" WOOD TRUSSES * GREAT ROOM 1 PER BLDG. SPECS.
- 8"X12" DECO WOOD BEAM * GUEST BEDROOM PER BLDG. SPECS.
- 6"X8" DECO WOOD BEAMS * GUEST BEDROOM PER BLDG. SPECS.
- 8"X12" DECO WOOD BEAM * MASTER SUITE PER BLDG. SPECS.
- 6"X8" DECO WOOD BEAMS * MASTER SUITE PER BLDG. SPECS.
- 6"X8" DECO WOOD BEAMS * OFFICE/ BEDROOM 2 PER BLDG. SPECS.
- 10"X12" WOOD RIDGE BEAM PER ENGINEER/BLDR. SPECS.
- 30"X30" ATTIC ACCESS SCUTTLE.
- CONCEALED STRUCTURAL BEAM PER ENGINEER SPECS.
- 10"X12" EXTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- 8"X10" WOOD BEAM * KITCHEN/ GREAT ROOM PER ENGINEER/BLDR. SPECS.
- 24"X42" S.R. OPENINGS. W/ SLOPED SILL. REFER TO INT. ELEV.
- OUTDOOR SHOWER PER BLDG. SPECS. SLOPE AS REQ'D. TO DRAIN WATER.
- 8'-0" HT. WALL W/ STEEL POST IMBEDDED IN SLAB.
- 30" DEEP BASE CABINETS.
- 36" HT. RAILING PER SPECS. & CODE.
- 40" HT. GUARD RAILING PER SPECS. & CODE.
- SOUND INSULATE WALL * MASTER SUITE/ MASTER BATH.
- 30" DEEP BASE CABINETS AND 18" DEEP UPPER CABINETS * UTIL.
- 6"X8" DECO WOOD BEAMS * KITCHEN PER BLDG. SPECS.
- 2-2X10 DECO WOOD RIDGE BEAMS W/ 2X8 KNEE BRACES & 2X8 DECO WOOD LATERAL BEAMS W/ 1X6 T&G CEILING. REFER TO INT. ELEV. 6/D-1.
- WD. IN-LAY CLG. PER BLDG. SPECS.
- BLDR. TO COORDINATE COUNTER HT. W/ WINDOW SILL.
- CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. TEMP. GLASS ENCLOSURE PER BLDG. SPECS.
- PROVIDE 1-3/8" THICK FIRE RATED OR 20 MINUTE SOLID CORE SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- PROVIDE POT-FILLER FAUCET PER BLDG. SPECS.
- BLDR. TO FRAME GARAGE ATTIC FOR HEAVY STORAGE. PROVIDE 3/4" FLYWOOD DECKING AS REQ'D. PER OWNER.
- TYPE X 5/8" GYPSUM BOARD IS REQUIRED * CEILING IN GARAGE. REFER TO IRC TABLE 302.6 DUELLING/ GARAGE SEPARATION.
- GAS LANTERNS. PROVIDE GAS AS REQ'D. PER CODE.
- 10"X12" INTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- STONE-TO-SIDING TRANSITION PER BLDG. SPECS.
- 10"X10" EXTERIOR WOOD COL. ON 16" TALL CONCRETE BASE. REF. TO EXT. ELEVATION.
- 12'-0" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW W/ 4'-8" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW PER OWNER'S SELECTION. (VERIFY EXACT DIMENSIONS).
- STEEL CORNER POST PER WINDOW/DOOR MANF. MATCH WINDOW MAT. & COLOR.
- 2040 DECO WOOD SHUTTERS * 8'-0" H.H. FROM UPPER FIN. FLR. REF. TO EXT. ELEV.
- EDGE OF WALL ABV.

POOL BY OTHERS

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CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-4

DMV

LOWER FLOOR PLAN (PART'L.)
SCALE: 1/4" = 1'-0"

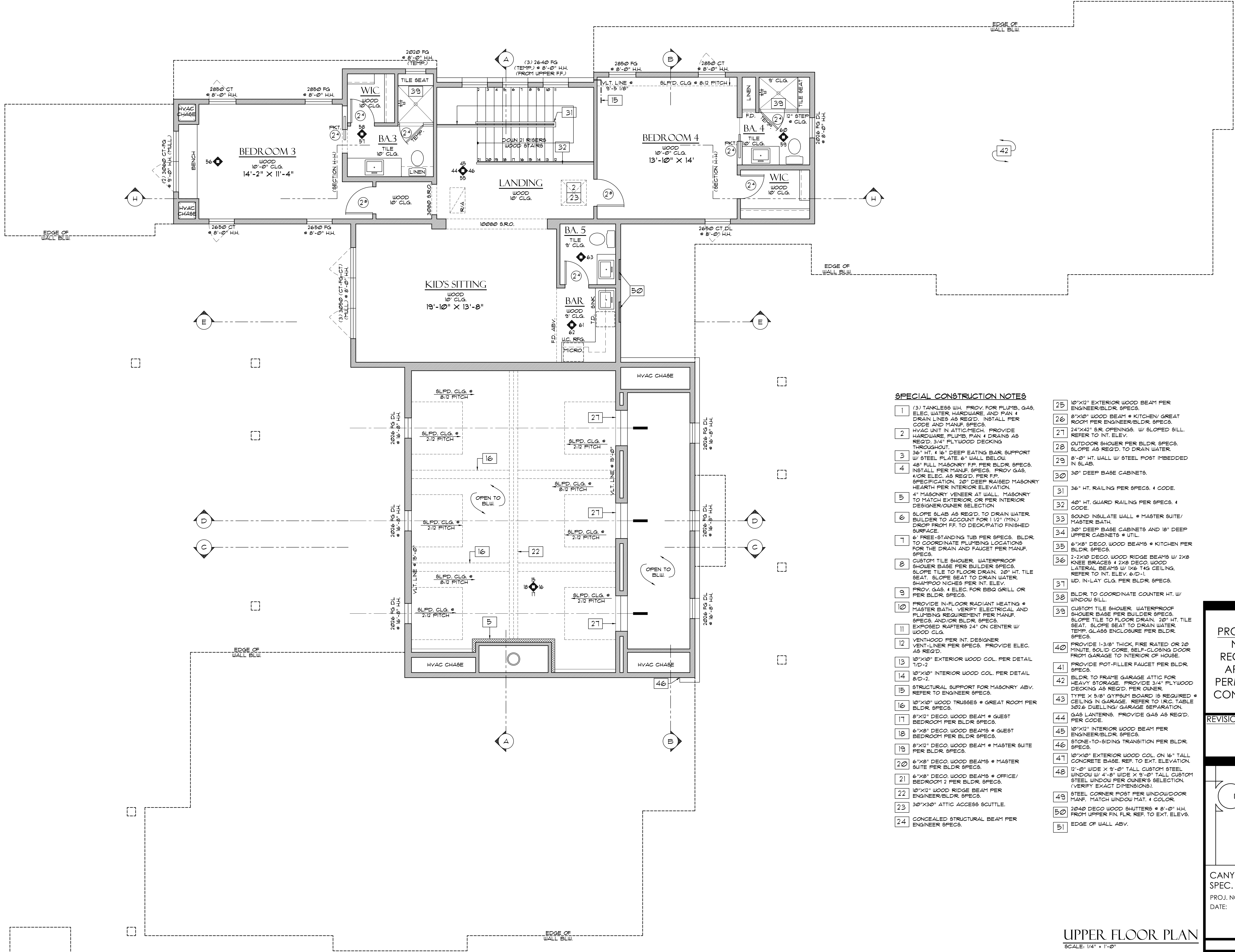


3. TANKLESS WH. PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
4. HYAC UNIT IN ATTIC/HATCH. PROVIDE HARDWARE, PLUMB, PAN & DRAINS AS REQ'D. 3/4" FLYWOOD DECKING THROUGHOUT.
5. 36" HT. & 16" DEEP EATING BAR. SUPPORT W/ STEEL PLATE. 6" WALL BELOW.
6. 18" RULL MASONRY VENT. PROVIDE PER INT. MANUF. SPEC. BLD.R. SPEC.S. 4"OR ELEC. AS REQ'D. PER F.P. SPECIFICATION. 20" DEEP RAISED MASONRY HEARTH PER INTERIOR SELECTION.
7. 4" MASONRY VENT KIT AT WALL. MASONRY TO MATCH EXTERIOR, OR PER INTERIOR DESIGNER/OWNER SELECTION.
8. SLOPE SLAB AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR 1 1/2" (MIN) DRAIN FROM FT. TO DECK/PATIO FINISHED SURFACE.
9. 6" FREE-STANDING TUB PER SPECS. BLDR. TO COORDINATE PLUMBING LOCATIONS FOR THE DRAIN AND FAUCET PER MANUF. SPECS.
10. CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. SHAMPOO NICHES PER INT. ELEV.
11. PROV. GAS. & ELEC. FOR BBQ GRILL OR PER BLD.R. SPECS.
12. PROVIDE IN-FLOOR RADIANT HEATING * MASTER BATH. VERIFY ELECTRICAL AND PLUMBING REQUIREMENTS (MANUF. SPECS. AND/OR BLD.R. SPECS. EXPOSED RAFTERS 24" ON CENTER W/ 1/2" WOOD CLG.
13. VENT-HOOD PER INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
14. 10'X10" EXTERIOR WOOD COL. PER DETAIL TD-2.
15. 10'X10" INTERIOR WOOD COL. PER DETAIL 8D-2.
16. STRUCTURAL SUPPORT FOR MASONRY ABV. REFER TO ENGINEER SPECS.
17. 10'X10" WOOD TRUSSES * GREAT ROOM PER BLD.R. SPECS.
18. 6'X8" DECO WOOD BEAM * GUEST BEDROOM PER BLD.R. SPECS.
19. 6'X8" DECO WOOD BEAMS * GUEST BEDROOM PER BLD.R. SPECS.
20. 8'X12" DECO WOOD BEAM * MASTER SUITE PER BLD.R. SPECS.
21. 6'X8" DECO WOOD BEAMS * MASTER SUITE PER BLD.R. SPECS.
22. 10'X12" WOOD RIDGE BEAM PER ENGINEER/BLDR. SPECS.
23. 30'X30" ATTIC ACCESS SCUTTLE.
24. CONCEALED STRUCTURAL BEAM PER ENGINEER SPECS.
25. ENGINEER/BLDR. SPECS.
26. 8'X10" WOOD BEAM * KITCHEN/ GREAT ROOM PER ENGINEER/BLDR. SPECS.
27. 24'X42" 8-R. OPENINGS. W/ SLOPED SILL. REFER TO INT. ELEV.
28. OUTDOOR SHOWER PER BLD.R. SPECS. SLOPE AS REQ'D. TO DRAIN WATER.
29. 8'-0" HT. WALL W/ STEEL POST IMBEDDED IN SLAB.
30. 30" DEEP BASE CABINETS.
31. 36" HT. RAILING PER SPECS. & CODE.
32. 40" HT. GUARD RAILING PER SPECS. & CODE.
33. SOUND INSULATE WALL * MASTER SUITE/ MASTER BATH.
34. 30" DEEP BASE CABINETS AND 18" DEEP UPPER CABINETS * UTIL.
35. 6'X8" DECO. WOOD BEAMS * KITCHEN PER BLD.R. SPECS.
36. 2-2X10 DECO. WOOD RIDGE BEAMS W/ 2X8 X-KNIE BRAGS. 2X8 DECO. WOOD PLANTER PLANT BEAMS W/ 1X6 TAG CEILING. REFER TO INT. ELEV. 6D-1.
37. UD. IN-LAY CLG. PER BLD.R. SPECS.
38. BLDR. TO COORDINATE COUNTER HT. W/ WINDOW SILL.
39. CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. TEMP. GLASS ENCLOSURE PER BLD.R. SPECS.
40. PROVIDE 1-3/8" THICK FIRE RATED OR 20 MINUTE. SOLID CORE. SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
41. PROVIDE POT-FILLER FAUCET PER BLD.R. SPECS.
42. BLDR. TO FRAME GARAGE ATTIC FOR HEAVY STORAGE. PROVIDE 3/4" FLYWOOD DECKING AS REQ'D. PER OWNER.
43. TYPE X 5/8" GYPSUM BOARD IS REQUIRED ON CEILING. REFER TO I.R.C. TABLE 601.3. DUELLING GARAGE SEPARATION.
44. GAS LANTERNS. PROVIDE GAS AS REQ'D. PER CODE.
45. 10'X12" INTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
46. STONE-TO-SIDING TRANSITION PER BLD.R. SPECS.
47. 10'X10" EXTERIOR WOOD COL. ON 16" TALL CONCRETE BASE. REF. TO EXT. ELEVATION.
48. 12'-0" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW W/ 4'-8" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW PER OWNER'S SELECTION. (VERIFY EXACT DIMENSIONS).
49. STEEL CORNER POST PER WINDOW/DOOR MANUF. MATCH WINDOW MAT. & COLOR.
50. 2040 DECO WOOD SHUTTERS * 8'-0" HH. FROM UPPER FIN. FL. REF. TO EXT. ELEV.
51. EDGE OF WALL ABV.

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A-5

DMV



SPECIAL CONSTRUCTION NOTES

- 1

(3) TANKLESS WH. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- 2

HVAC UNIT IN ATTIC/MECH. PROVIDE HARDWARE, PLUMB, PAN & DRAINS AS REQ'D. 3/4" FLYWOOD DECKING THROUGHOUT.
- 3

36" HT. 4 1/2" DEEP EATING BAR, SUPPORT W/ STEEL PLATE, 6" WALL BELOW.
- 4

48" FULL MASONRY F.P. PER BLDR. SPECS. INSTALL PER MANUF. SPECS. PROV GAS, &/OR ELEC. AS REQ'D. PER F.P. SPECIFICATION. 20" DEEP RAISED MASONRY HEARTH PER INTERIOR ELEVATION.
- 5

4" MASONRY VENEER AT WALL. MASONRY TO MATCH EXTERIOR, OR PER INTERIOR DESIGNER/OWNER SELECTION.
- 6

SLOPE SLAB AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR 1 1/2" (MIN.) DROP FROM FF. TO DECK/PATIO FINISHED SURFACE.
- 7

6" FREE-STANDING TUB, PER SPECS. BLDR TO COORDINATE PLUMBING LOCATIONS FOR THE DRAIN AND FAUCET PER MANUF. SPECS.
- 8

CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. SHAMPOO NICHES PER INT. ELEV. PROV. GAS & ELEC. FOR BBQ GRILL OR PER BLDR. SPECS.
- 9

PROVIDE IN-FLOOR RADIANT HEATING & MASTER BATH. VERIFY ELECTRICAL AND PLUMBING REQUIREMENT PER MANUF. SPECS. AND/OR BLDR. SPECS.
- 10

EXPOSED RAFTERS 24" ON CENTER W/ WOOD CLG.
- 11

VENTHOOD PER INT. DESIGNER VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 12

10"x10" EXTERIOR WOOD COL. PER DETAIL T/D-2
- 13

10"x10" INTERIOR WOOD COL. PER DETAIL B/D-2.
- 14

STRUCTURAL SUPPORT FOR MASONRY ABV. REFER TO ENGINEER SPECS.
- 15

10"x10" WOOD TRUSSES & GREAT ROOM PER BLDR. SPECS.
- 16

8"x12" DECO. WOOD BEAM & GUEST BEDROOM PER BLDR. SPECS.
- 17

6"x8" DECO. WOOD BEAMS & GUEST BEDROOM PER BLDR. SPECS.
- 18

8"x12" DECO. WOOD BEAM & MASTER SUITE PER BLDR. SPECS.
- 19

6"x8" DECO. WOOD BEAMS & MASTER SUITE PER BLDR. SPECS.
- 20

6"x8" DECO. WOOD BEAMS & OFFICE/ BEDROOM 2 PER BLDR. SPECS.
- 21

10"x12" WOOD RIDGE BEAM PER ENGINEER/BLDR. SPECS.
- 22

30"x30" ATTIC ACCESS SCUTTLE.
- 23

CONCEALED STRUCTURAL BEAM PER ENGINEER SPECS.
- 24

10"x12" EXTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- 25

8"x10" WOOD BEAM & KITCHEN/ GREAT ROOM PER ENGINEER/BLDR. SPECS.
- 26

24"x42" S.R. OPENINGS. W/ SLOPED SILL. REFER TO INT. ELEV.
- 27

OUTDOOR SHOWER PER BLDR. SPECS. SLOPE AS REQ'D. TO DRAIN WATER.
- 28

8'-0" HT. WALL W/ STEEL POST IMBEDDED IN SLAB.
- 29

30" DEEP BASE CABINETS.
- 30

36" HT. RAILING PER SPECS. & CODE.
- 31

40" HT. GUARD RAILING PER SPECS. & CODE.
- 32

SOUND INSULATE WALL & MASTER SUITE/ MASTER BATH.
- 33

30" DEEP BASE CABINETS AND 18" DEEP UPPER CABINETS & UTIL.
- 34

6"x8" DECO. WOOD BEAMS & KITCHEN PER BLDR. SPECS.
- 35

2-2X10 DECO. WOOD RIDGE BEAMS W/ 2X8 KNEE BRACES & 2X8 DECO. WOOD LATERAL BEAMS W/ 1X6 T&G CEILING. REFER TO INT. ELEV. 6/D-1.
- 36

WD. IN-LAY CLG. PER BLDR. SPECS.
- 37

BLDR. TO COORDINATE COUNTER HT. W/ WINDOW SILL.
- 38

CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO FLOOR DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. TEMP. GLASS ENCLOSURE PER BLDR. SPECS.
- 39

PROVIDE 1-3/8" THICK FIRE RATED OR 20 MINUTE, SOLID CORE, SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- 40

PROVIDE POT-FILLER FAUCET PER BLDR. SPECS.
- 41

BLDR. TO FRAME GARAGE ATTIC FOR HEAVY STORAGE. PROVIDE 3/4" FLYWOOD DECKING AS REQ'D. PER OWNER.
- 42

TYPE X 5/8" GYPSUM BOARD IS REQUIRED & CEILING IN GARAGE. REFER TO I.R.C. TABLE 302.6 DUELLING/ GARAGE SEPARATION.
- 43

GAS LANTERNS. PROVIDE GAS AS REQ'D. PER CODE.
- 44

10"x10" INTERIOR WOOD BEAM PER ENGINEER/BLDR. SPECS.
- 45

STONE-TO-SIDING TRANSITION PER BLDR. SPECS.
- 46

10"x10" EXTERIOR WOOD COL. ON 16" TALL CONCRETE BASE. REF. TO EXT. ELEVATION.
- 47

12'-0" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW W/ 4'-8" WIDE X 9'-0" TALL CUSTOM STEEL WINDOW PER OWNER'S SELECTION. (VERIFY EXACT DIMENSIONS).
- 48

STEEL CORNER POST PER WINDOW/DOOR MANF. MATCH WINDOW MAT. & COLOR.
- 49

2040 DECO WOOD SHUTTERS & 8'-0" H.H. FROM UPPER FIN. FLR. REF. TO EXT. ELEV.
- 50

EDGE OF WALL ABV.
- 51

EDGE OF WALL BLW.

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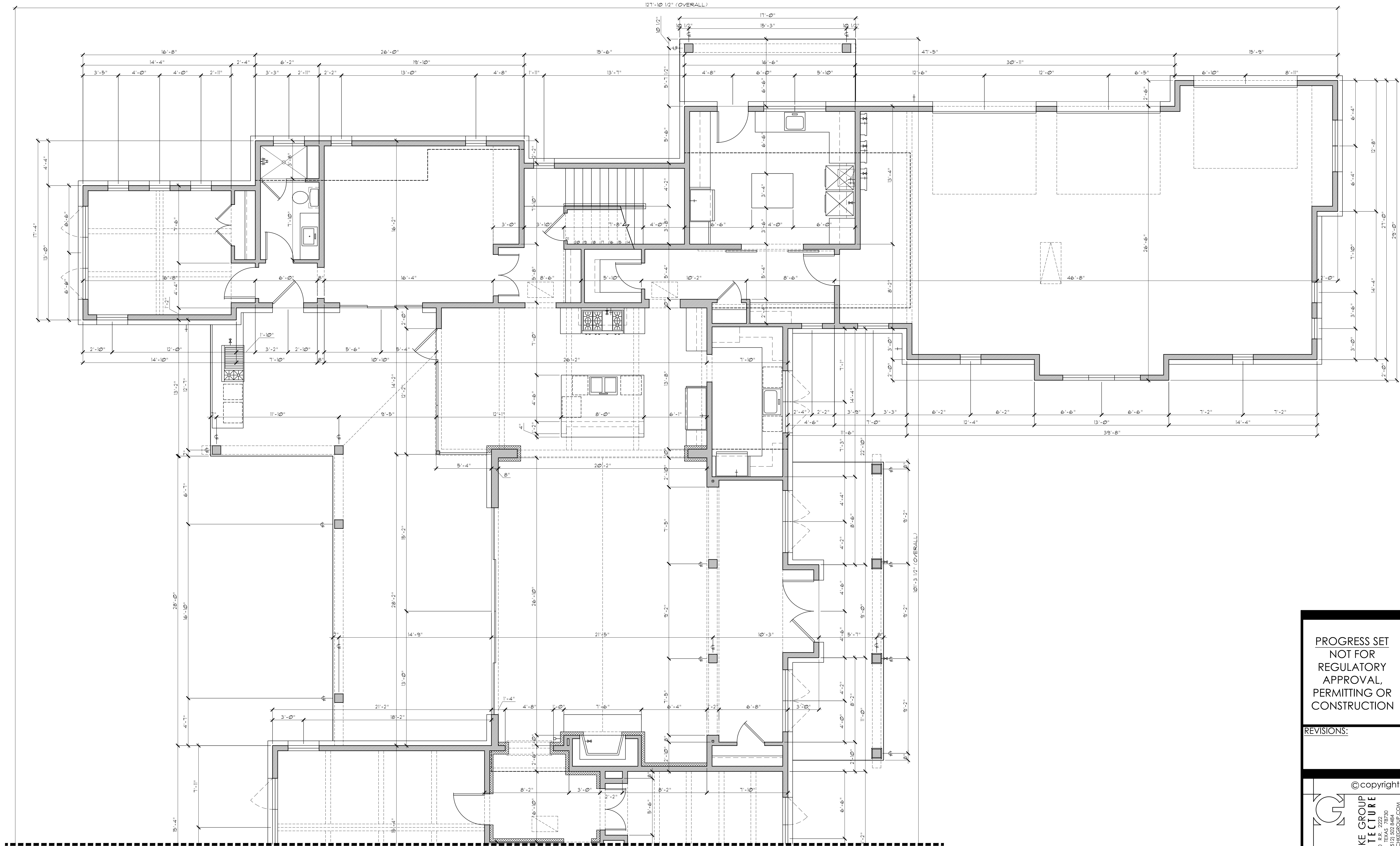
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DATE: 28 MAR. 2025

A-6

DMV

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



LOWER FLOOR DIMENSION PLAN (PART L)
SCALE: 1/4" = 1'-0"

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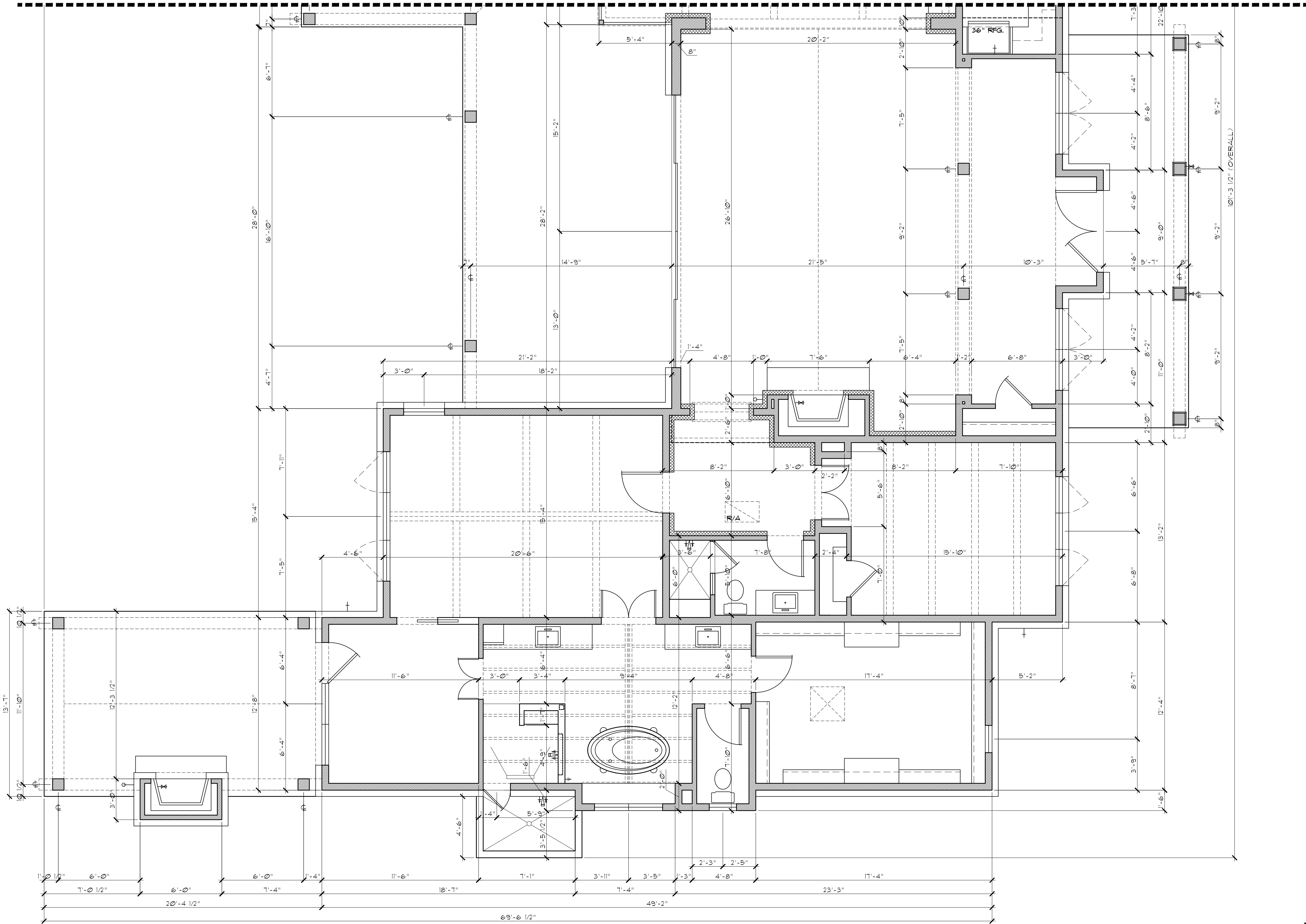


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LOWER FLOOR DIMENSION PLAN (CONT'D.)
SCALE: 1/4" = 1'-0"

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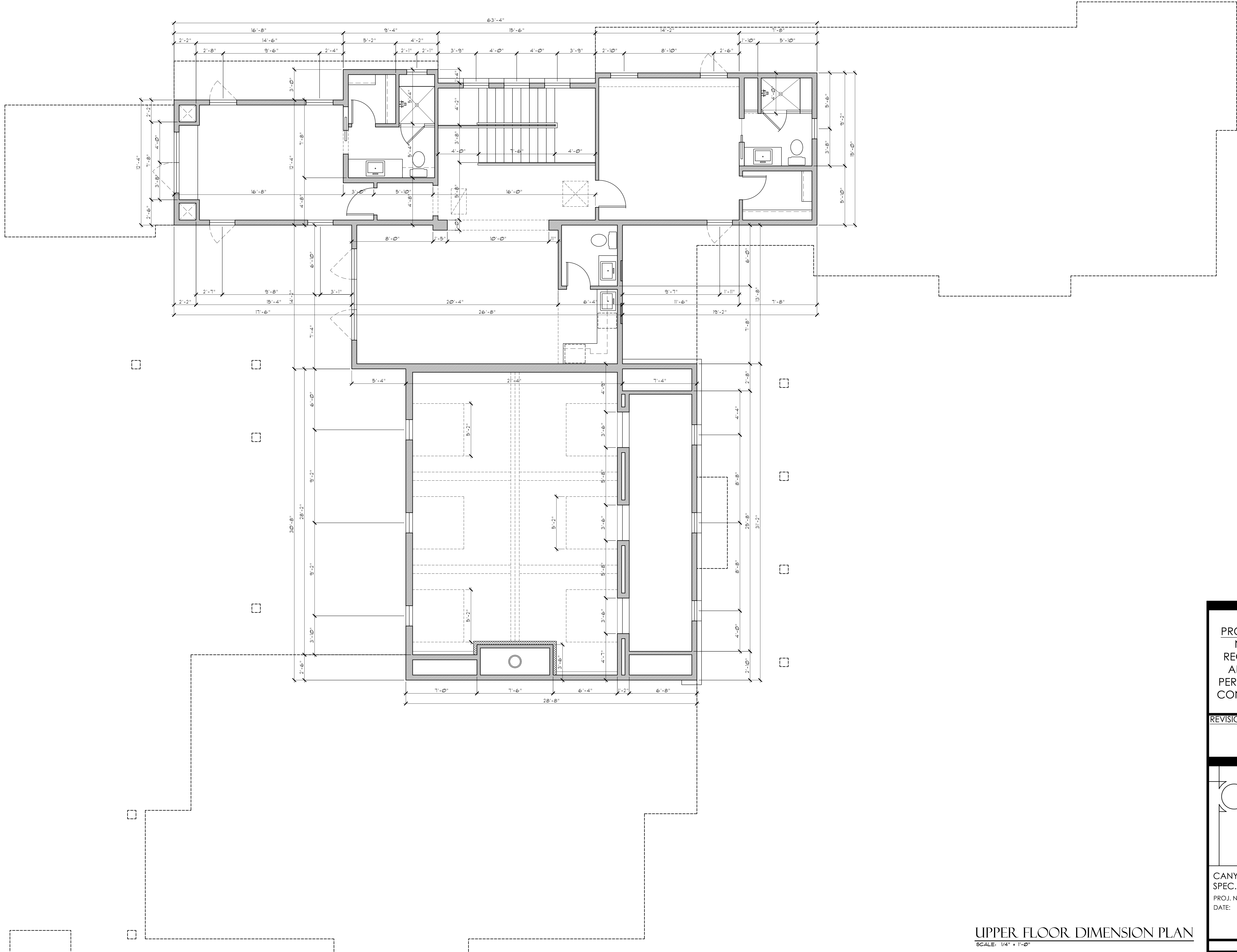
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A-8

DMV



UPPER FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

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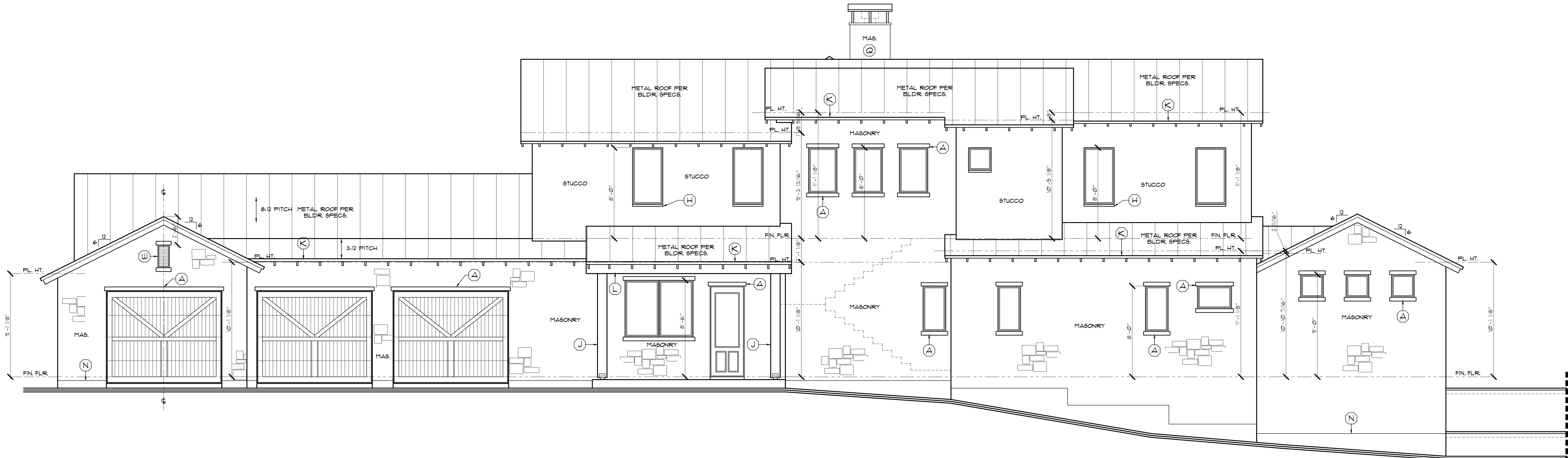
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A-9

DMV



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
(B) N/A
(C) N/A
(D) 3 1/2" SIDING TOP W/ 5 1/2" SIDING BOTTOM TRIM W/ 2 1/2" SIDE TRIM.
(E) 1" HT. STUCCO PRIVACY WALL W/ 2" STUCCO TRIM ON TOP. SLOPE AS REQ'D. TO DRAIN WATER. VERIFY HT. W/ OWNER.
(F) N/A
(G) 10" SQ. WOOD COLUMN ON TAPERED CONC. BASE PER BLDG. SPECS.
(H) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
(J) 10" SQ. WOOD COLUMN PER DETAIL T/D-2.
(K) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP).
(L) 10X WOOD BEAM PER ENGINEER SPECS. FLASH EXPOSED WOOD W/ MTL. CAP.
(M) STEEL CORNER POST PER WINDOW/DOOR MANUF. MATCH WINDOW MAT. & COLOR.
(N) MASONRY LUG PER DEED RESTRICTIONS.
(P) 2 1/2" STONE WATERTABLE. REFER TO DETAIL T/D-1.
(Q) MASONRY @ CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS & CODE. CRICKET AND FLASHING AS REQ'D (MTL. STUDS ONLY ABV. SPARK ARRESTOR).
(R) 12"x30" DECO. WOOD VENT CENTERED ON GABLE @ STUCCO WALL.
(S) N/A
(T) MASONRY TO SIDING TRANSITION.
(U) MASONRY ABOVE. SUPPORT PER ENGINEER SPECS.
(V) SADDLE & FLASH AT CHIMNEY AS REQ'D. PER BLDG. SPECS.
(W) 12"x24" DECO. WOOD VENT W/ 4" MAS. TRIM & SILL.
1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS).
3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.

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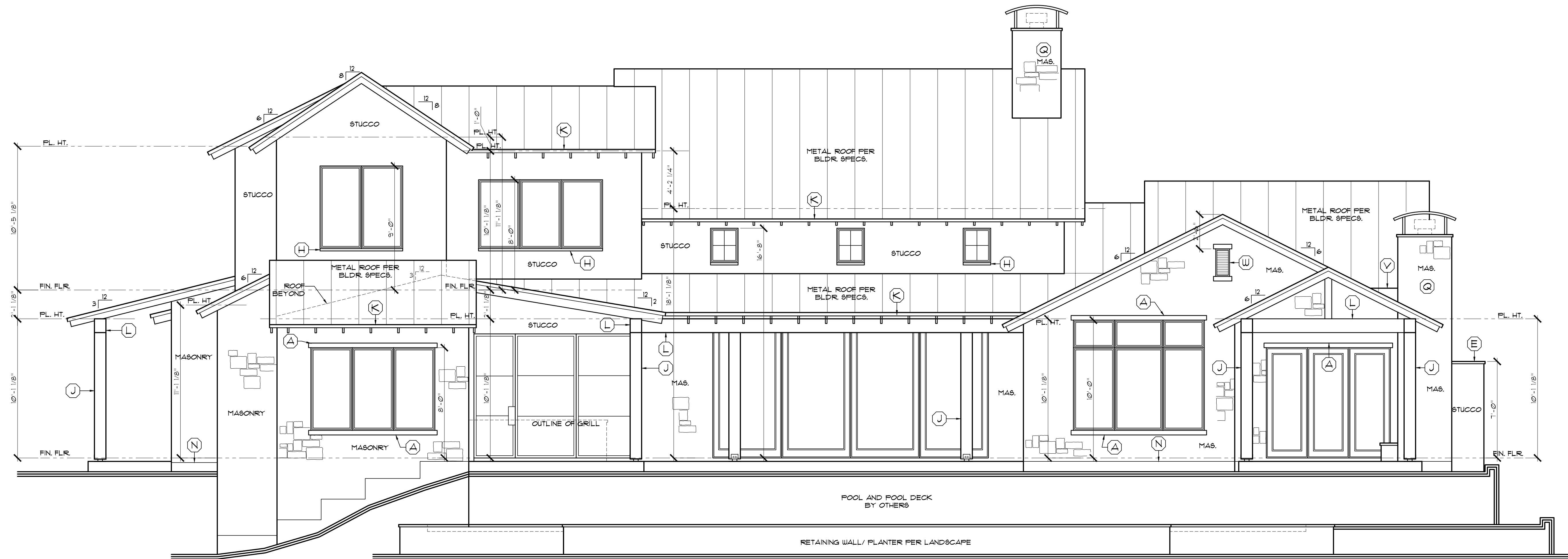
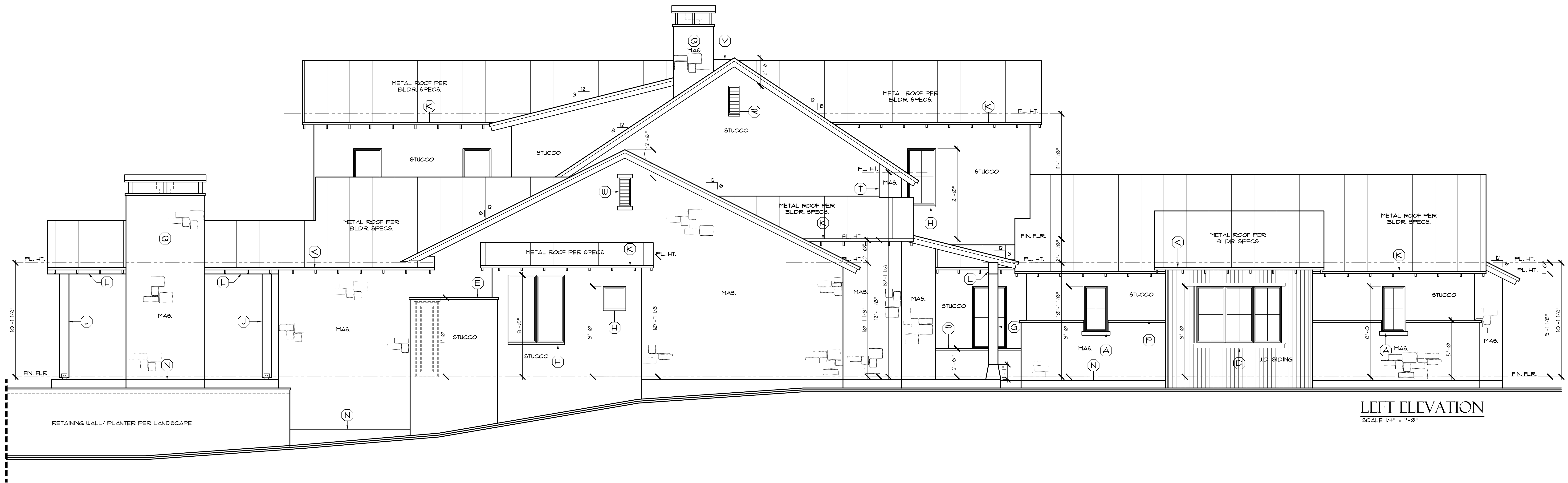
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PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-10

DMV



EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
- (B) N/A
- (C) N/A
- (D) 3 1/2" SIDING TOP W/ 5 1/2" SIDING BOTTOM TRIM W/ 2 1/2" SIDE TRIM.
- (E) 1" HT. STUCCO PRIVACY WALL W/ 2" STUCCO TRIM ON TOP. SLOPE AS REQ'D. TO DRAIN WATER. VERIFY HT. W/ OWNER.
- (F) N/A
- (G) 10" SQ. WOOD COLUMN ON TAPERED CONC. BASE PER BLDG. SPECS.
- (H) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (J) 10" SQ. WOOD COLUMN PER DETAIL 1/D-2.
- (K) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS. (TYP).
- (L) 10X WOOD BEAM PER ENGINEER SPECS. FLASH EXPOSED WOOD W/ MTL. CAP.
- (M) STEEL CORNER POST PER WINDOW/DOOR MANF. MATCH WINDOW MAT. & COLOR.
- (N) MASONRY LUG PER DEED RESTRICTIONS.
- (P) 2 1/2" STONE WATERTABLE. REFER TO DETAIL 1/D-1.
- (Q) MASONRY @ CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS & CODE. CRICKET AND FLASHING AS REQ'D (MTL STUDS ONLY ABV. SPARK ARRESTOR).
- (R) 12"X24" DECO. WOOD VENT CENTERED ON GABLE @ STUCCO WALL.
- (S) N/A
- (T) MASONRY TO SIDING TRANSITION.
- (U) MASONRY ABOVE. SUPPORT PER ENGINEER SPECS.
- (V) SADDLE & FLASH AT CHIMNEY AS REQ'D. PER BLDG. SPECS.
- (W) 12"X24" DECO. WOOD VENT W/ 4" MAS. TRIM & SILL.

1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.

2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS).

3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.

4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.

5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.

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SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-11

DMV

EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
(B) N/A
(C) N/A
(D) 3 1/2" SIDING TOP W/ 5 1/2" SIDING
BOTTOM TRIM W/ 2 1/2" SIDE TRIM.
(E) 1" HT. STUCCO PRIVACY WALL W/ 2"
STUCCO TRIM ON TOP. SLOPE AS REQ'D.
TO DRAIN WATER. VERIFY HT. W/ OWNER.
N/A
(F) N/A
(G) 10" SQ. WOOD COLUMN ON TAPERED CONC.
BASE PER BLDG. SPECS.
(H) NO TRIM AT WINDOW. SLOPE RETURN TO
ADEQUATELY DRAIN WATER. FLASH AS
REQ'D.
(J) 10" SQ. WOOD COLUMN PER DETAIL 1/D-2.
(K) FASCIA & OVERHANG PER DETAIL
AND/OR BLDG. SPECS (TYP.).
(L) 10X WOOD BEAM PER ENGINEER SPECS.
FLASH EXPOSED WOOD W/ MTL. CAP.
(M) STEEL CORNER POST PER WINDOW/DOOR
MANF. MATCH WINDOW MAT. & COLOR.
(N) MASONRY LUG PER DEED RESTRICTIONS.
(P) 2 1/2" STONE WATERTABLE. REFER TO
DETAIL 1/D-1
(Q) MASONRY # CHIMNEY WITH MTL. SPARK
ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV.
HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY
CAP PER SPECS & CODE. CRICKET AND
FLASHING AS REQ'D (MTL STUDS ONLY ABV.
SPARK ARRESTOR).
(R) 12"x30" DECO. WOOD VENT CENTERED ON
GABLE # STUCCO WALL.
(S) N/A
(T) MASONRY TO SIDING TRANSITION.
(U) MASONRY ABOVE. SUPPORT PER ENGINEER
SPECS.
(V) SADDLE & FLASH AT CHIMNEY AS REQ'D.
PER BLDG. SPECS.
(W) 12"x24" DECO. WOOD VENT W/ 4" MAS.
TRIM & SILL.

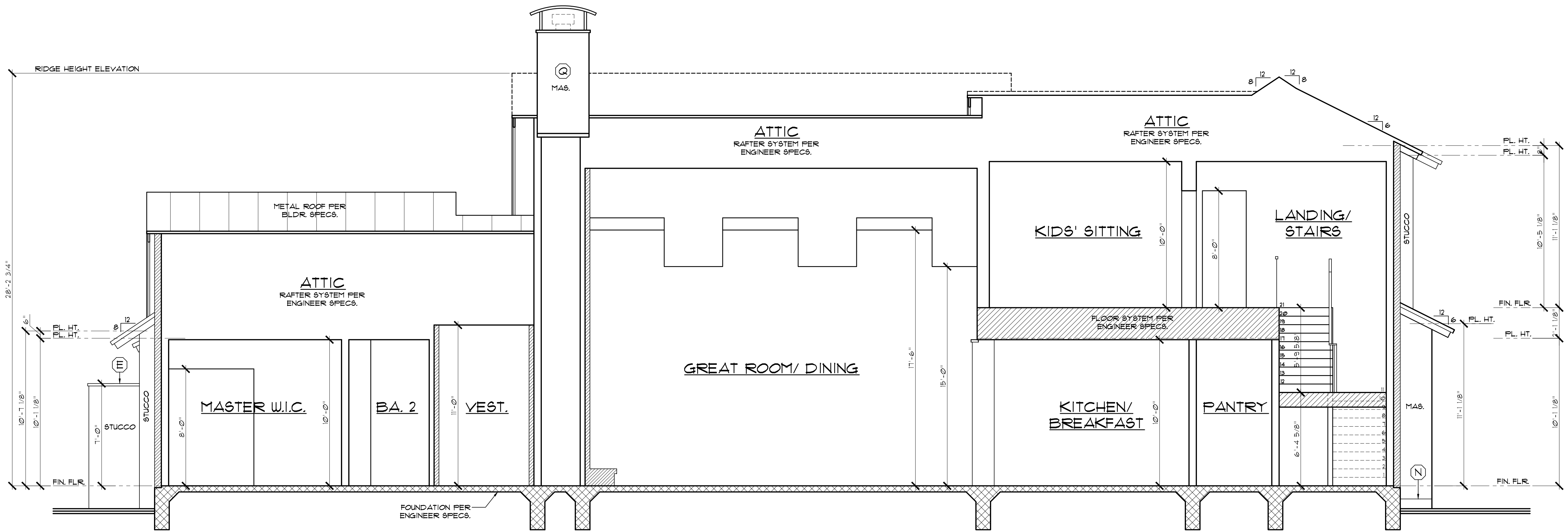
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MAY VARY FROM ACTUAL FINISHED GRADE.
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON
SITE.

2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR
PER APPLICABLE DEED RESTRICTIONS
(WHICHEVER IS LESS)

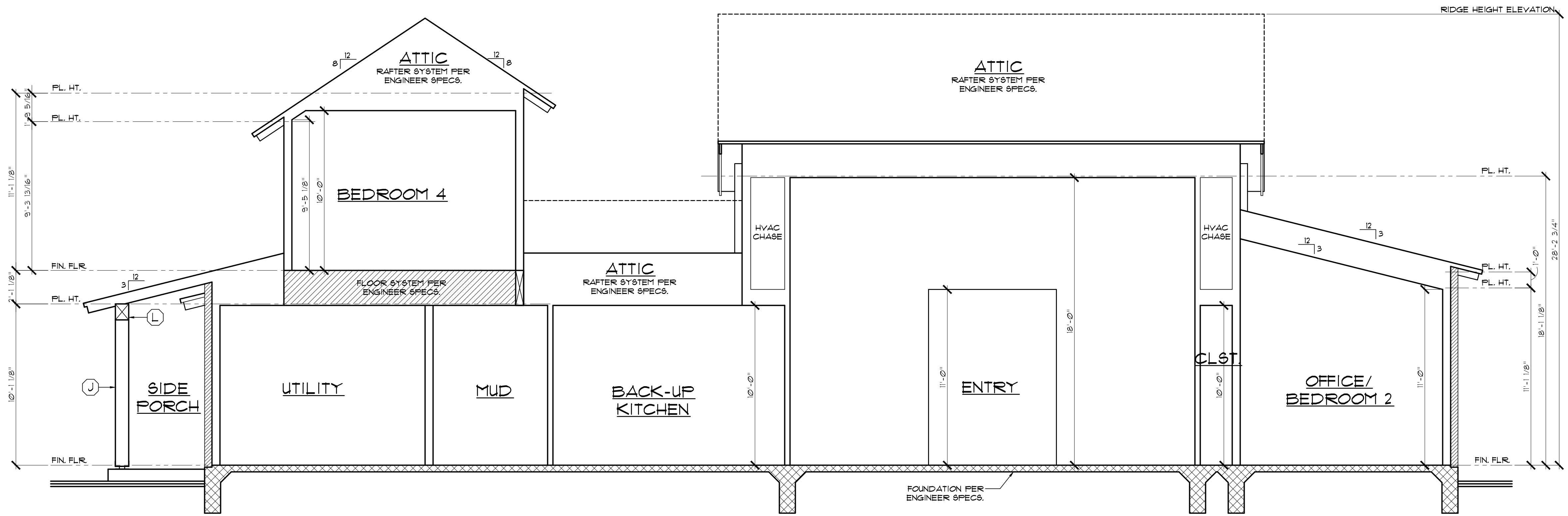
3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT
REQUIREMENTS PER CODE. BUILDER TO VERIFY
ADDITIONAL HEIGHT REQUIREMENTS BASED ON
SITE AND WIND CONDITIONS.

4) ALL MASONRY OR STUCCO TRIM/BANDING TO
PROJECT 1 1/2" FROM FACE OF FIELD UNLESS
NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN
WATER ADEQUATELY.

5) ALL EXPANSION JOINTS LOCATED PER
BUILDER AND TO MEET ALL LOCAL CODES.



SECTION A-A
SCALE 1/4" = 1'-0"



SECTION B-B
SCALE 1/4" = 1'-0"

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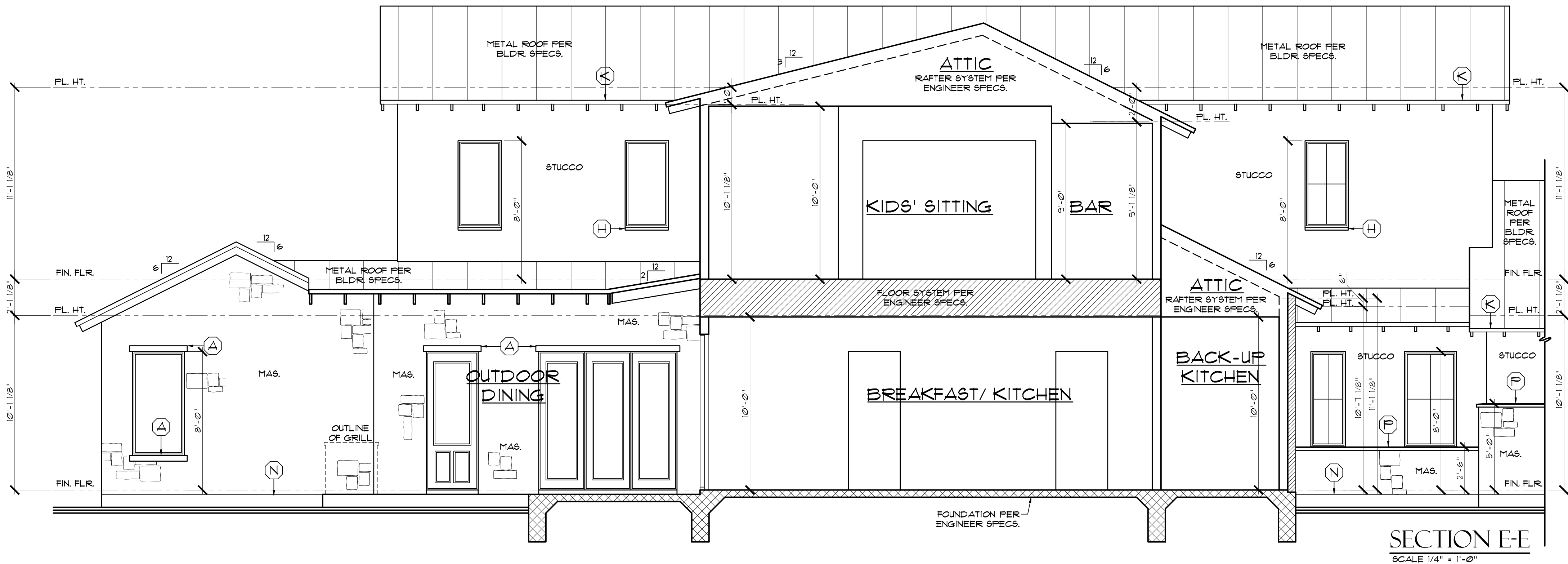
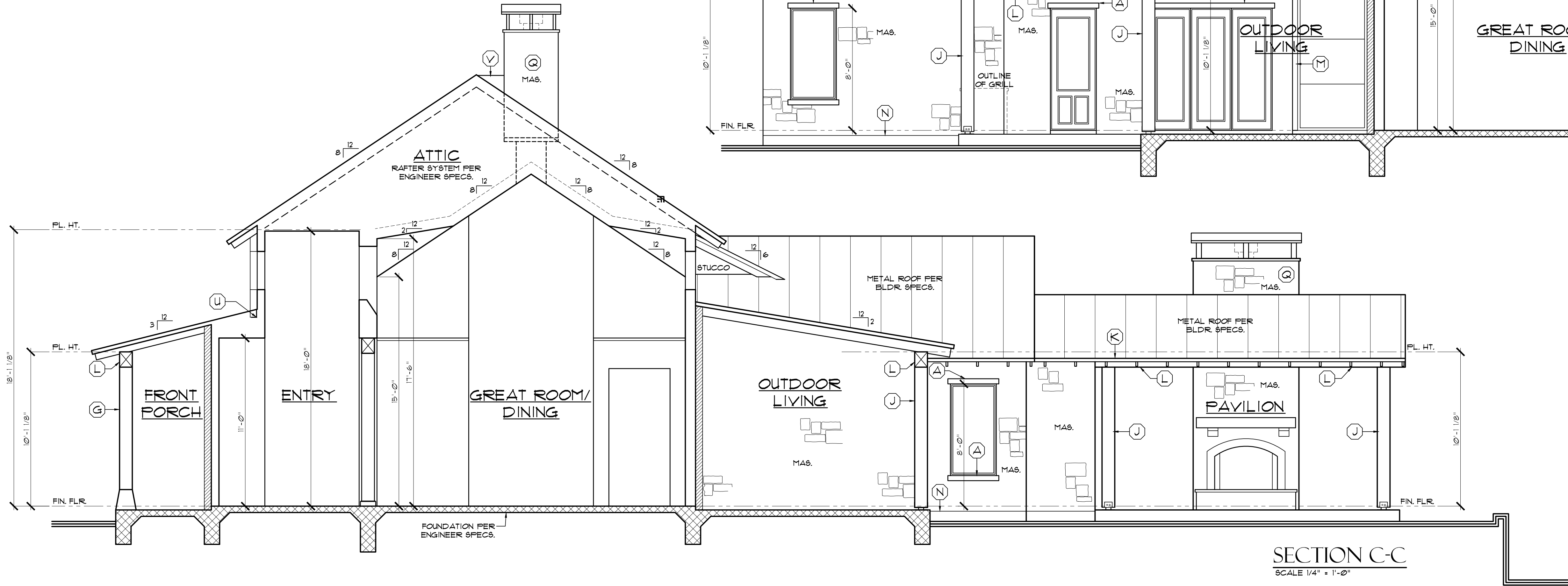
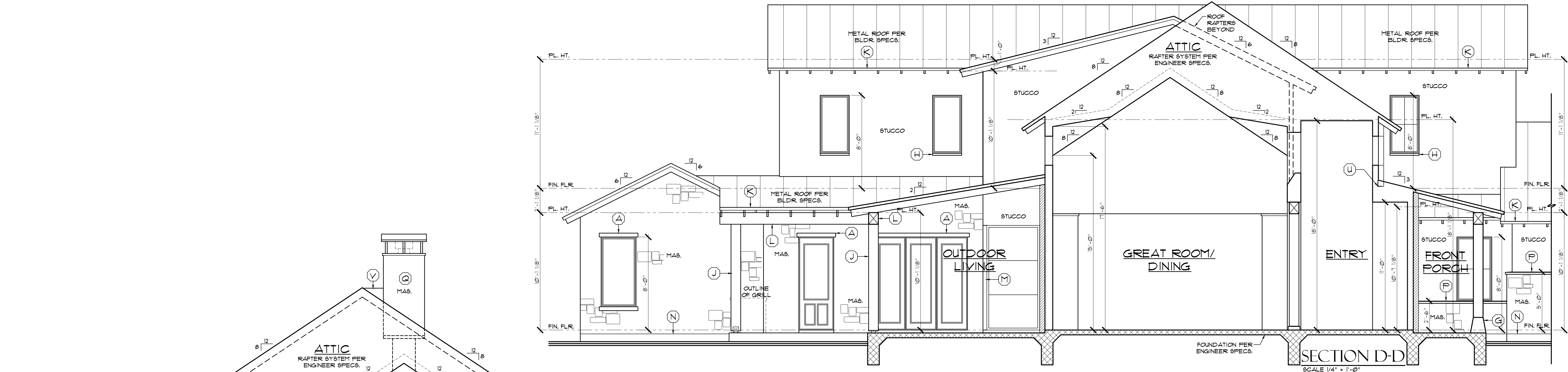
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CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-12

DMV



EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
- (B) N/A
- (C) N/A
- (D) 3 1/2" SIDING TOP W/ 5 1/2" SIDING BOTTOM TRIM W/ 2 1/2" SIDE TRIM.
- (E) 1" HT. STUCCO PRIVACY WALL W/ 2" STUCCO TRIM ON TOP SLOPE AS REQ'D. TO DRAIN WATER. VERIFY HT. W/ OWNER.
- (F) N/A
- (G) 10" SQ. WOOD COLUMN ON TAPERED CONC. BASE PER BLDG. SPECS.
- (H) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (J) 10" SQ. WOOD COLUMN PER DETAIL 1/D-2.
- (K) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP).
- (L) 10X WOOD BEAM PER ENGINEER SPECS. FLASH EXPOSED WOOD W/ MTL. CAP.
- (M) STEEL CORNER POST PER WINDOW/DOOR MANF. MATCH WINDOW MAT. & COLOR.
- (N) MASONRY LUG PER DEED RESTRICTIONS.
- (P) 2 1/2" STONE WATERTABLE. REFER TO DETAIL 1/D-1.
- (Q) MASONRY @ CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS & CODE. CRICKET AND FLASHING AS REQ'D (MTL STUDS ONLY ABV. SPARK ARRESTOR).
- (R) 12"X30" DECO. WOOD VENT CENTERED ON GABLE @ STUCCO WALL.
- (S) N/A
- (T) MASONRY TO SIDING TRANSITION.
- (U) MASONRY ABOVE. SUPPORT PER ENGINEER SPECS.
- (V) SADDLE & FLASH AT CHIMNEY AS REQ'D. PER BLDG. SPECS.
- (W) 12"X24" DECO. WOOD VENT W/ 4" MAS. TRIM & SILL.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS)
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
- 5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.

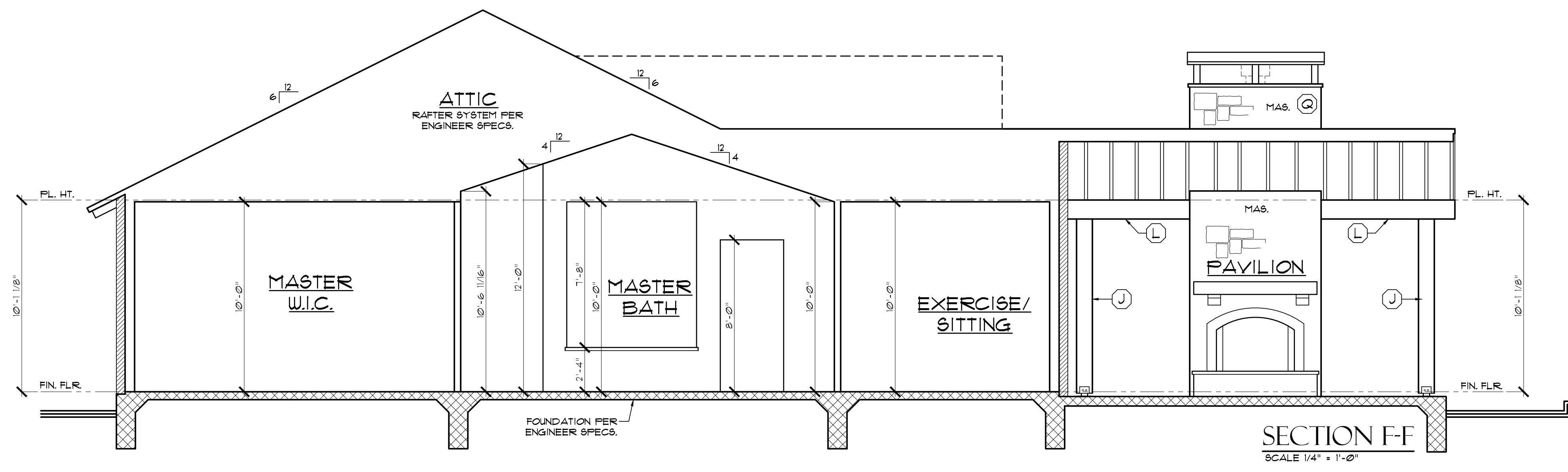
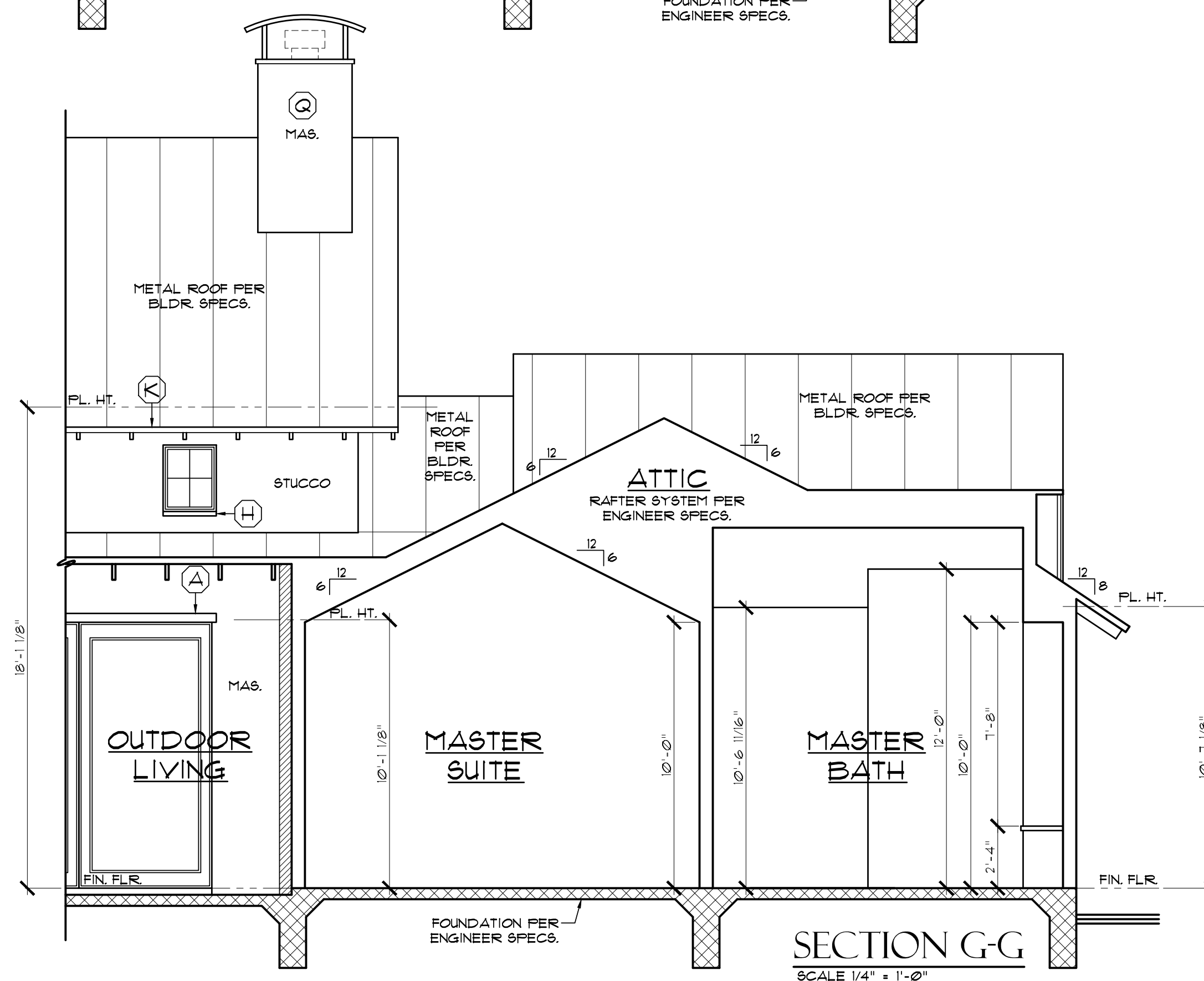
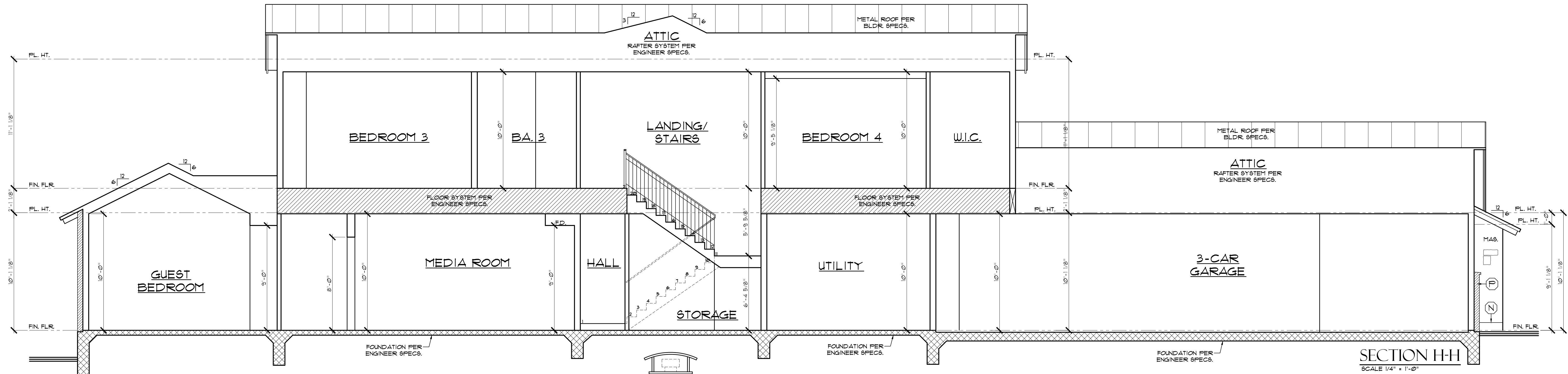
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PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-13



EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
- (B) N/A
- (C) N/A
- (D) 3 1/2" SIDING TOP W/ 5 1/2" SIDING BOTTOM TRIM W/ 2 1/2" SIDE TRIM.
- (E) 1" HT. STUCCO PRIVACY WALL W/ 2" STUCCO TRIM ON TOP. SLOPE AS REQ'D. TO DRAIN WATER. VERIFY HT. W/ OWNER.
- (F) N/A
- (G) 10" SQ. WOOD COLUMN ON TAPERED CONC. BASE PER BLDG. SPECS.
- (H) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (J) 10" SQ. WOOD COLUMN PER DETAIL 1/D-2.
- (K) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP.).
- (L) 10" X WOOD BEAM PER ENGINEER SPECS. FLASH EXPOSED WOOD W/ MTL. CAP.
- (M) STEEL CORNER POST PER WINDOW/DOOR MANF. MATCH WINDOW MAT. & COLOR.
- (N) MASONRY LUG PER DEED RESTRICTIONS.
- (P) 2 1/2" STONE WATERTABLE. REFER TO DETAIL 1/D-1.
- (Q) MASONRY - CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS & CODE. CRICKET AND FLASHING AS REQ'D (MTL STUDS ONLY ABV. SPARK ARRESTOR).
- (R) 12" X 30" DECO. WOOD VENT CENTERED ON GABLE - STUCCO WALL.
- (S) N/A
- (T) MASONRY TO SIDING TRANSITION.
- (U) MASONRY ABOVE. SUPPORT PER ENGINEER SPECS.
- (V) SADDLE & FLASH AT CHIMNEY AS REQ'D. PER BLDG. SPECS.
- (W) 12" X 24" DECO. WOOD VENT W/ 4" MAS. TRIM & SILL.

1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.

2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS)

3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.

4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.

5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.

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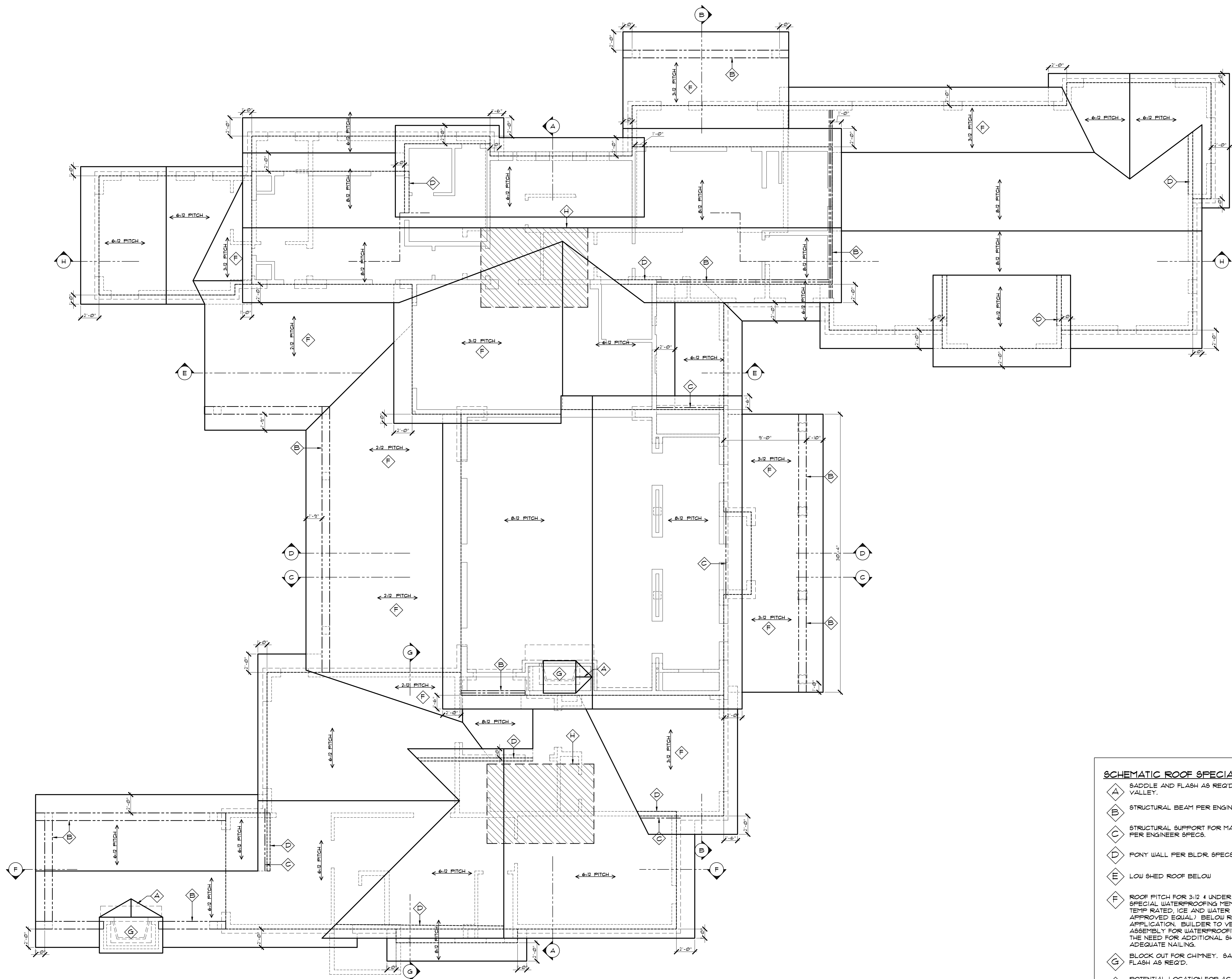
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CANYON HOMES
SPEC. R.D.S. # 4

PROJ. NO.: 25008
DATE: 28 MAR. 2025

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DMV



SCHEMATIC ROOF SPECIAL NOTES

- A** SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- B** STRUCTURAL BEAM PER ENGINEER SPECS.
- C** STRUCTURAL SUPPORT FOR MASONRY ABV. PER ENGINEER SPECS.
- D** PONY WALL PER BLDR. SPECS.
- E** LOW SHED ROOF BELOW
- F** ROOF PITCH FOR 3:12 4 UNDER REQUIRES SPECIAL WATERPROOFING MEMBRANE (HIGH TEMP RATED, ICE AND WATER SHIELD AND/OR APPROVED EQUAL) BELOW ROOF APPLICATION. BUILDER TO VERIFY ROOF ASSEMBLY FOR WATERPROOFING INCLUDING THE NEED FOR ADDITIONAL SHEATHING FOR ADEQUATE NAILING.
- G** BLOCK OUT FOR CHIMNEY, SADDLE & FLASH AS REQ'D.
- H** POTENTIAL LOCATION FOR AC UNIT. BLDR. TO VERIFY ADEQUATE LOCATIONS.

SCHEMATIC ROOF PLAN (OVERALL)
SCALE: 1/8" = 1'-0"

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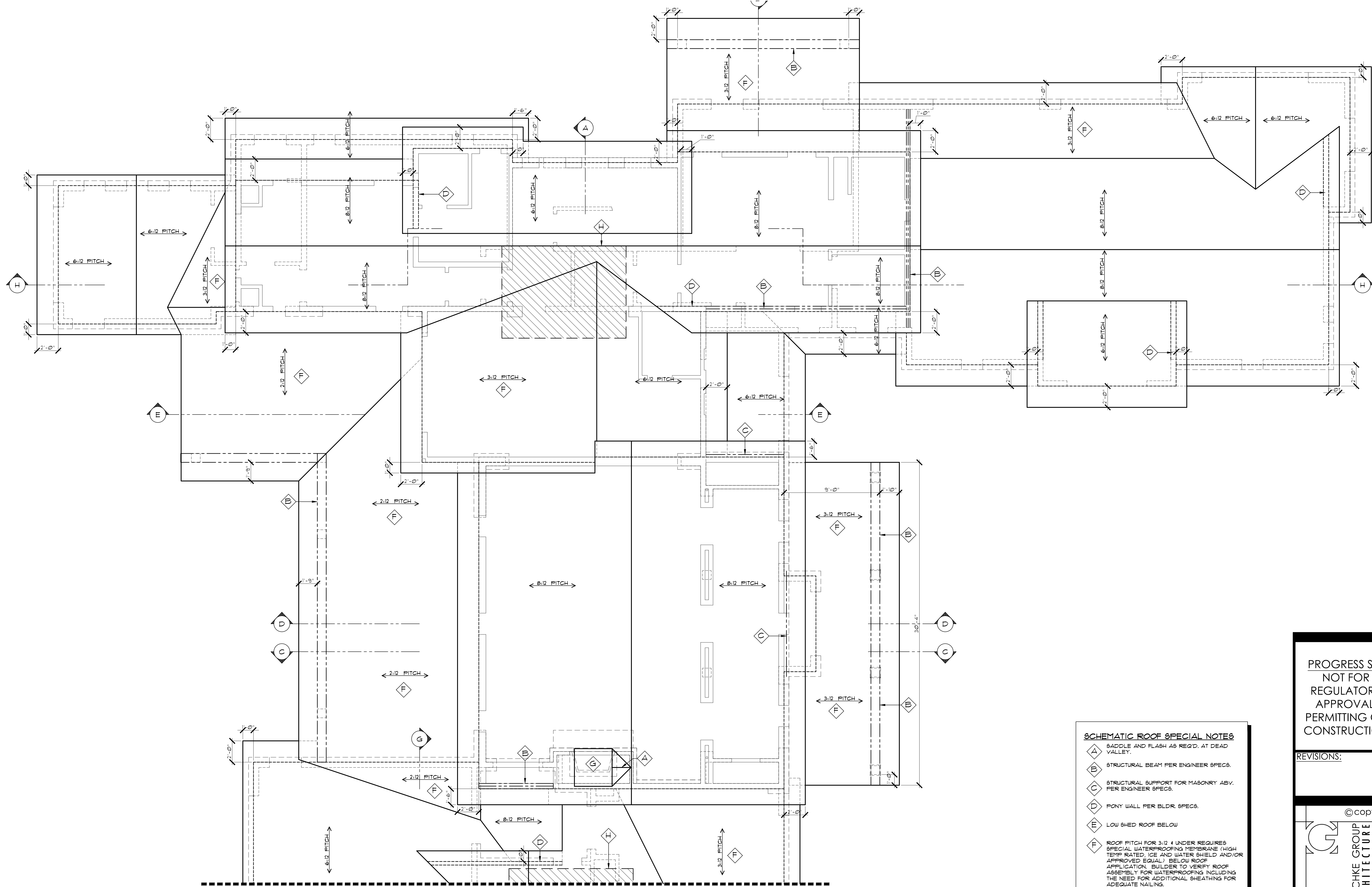
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DATE: 28 MAR. 2025

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SCHEMATIC ROOF SPECIAL NOTES

- A** SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- B** STRUCTURAL BEAM PER ENGINEER SPECS.
- C** STRUCTURAL SUPPORT FOR MASONRY ABV. PER ENGINEER SPECS.
- D** PONY WALL PER BLDG. SPECS.
- E** LOW SHED ROOF BELOW
- F** ROOF PITCH FOR 3:12 & UNDER REQUIRES SPECIAL WATERPROOFING MEMBRANE (HIGH TEMP. RATED, ICE AND WATER SHIELD AND/OR APPROVED EQUAL). BELOW ROOF APPLICATION. BUILDER TO VERIFY ROOF ASSEMBLY FOR WATERPROOFING INCLUDING THE NEED FOR ADDITIONAL SHEATHING FOR ADEQUATE NAILING.
- G** BLOCK OUT FOR CHIMNEY. SADDLE & FLASH AS REQ'D.
- H** POTENTIAL LOCATION FOR AC UNIT. BLDG. TO VERIFY ADEQUATE LOCATIONS.

SCHEMATIC ROOF PLAN (PART L)
SCALE: 1/4" = 1'-0"

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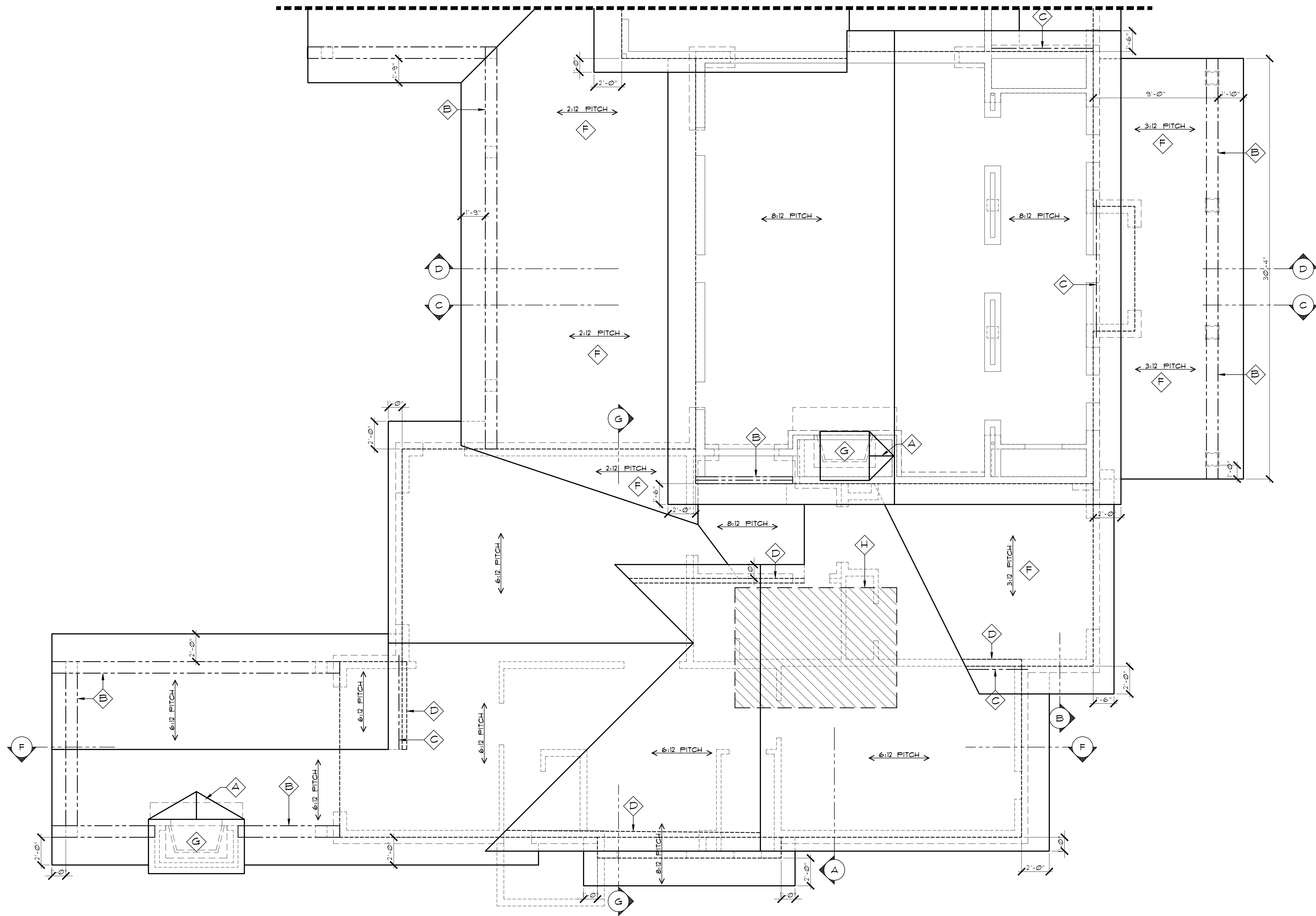
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DATE: 28 MAR. 2025

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SCHEMATIC ROOF SPECIAL NOTES

- A** SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- B** STRUCTURAL BEAM PER ENGINEER SPECS.
- C** STRUCTURAL SUPPORT FOR MASONRY ABV. PER ENGINEER SPECS.
- D** PONY WALL PER BLDG. SPECS.
- E** LOW SHED ROOF BELOW
- F** ROOF PITCH FOR 3:12 4' UNDER REQUIRES SPECIAL WATERPROOFING MEMBRANE (HIGH TEMP RATED, ICE AND WATER SHIELD AND/OR APPROVED EQUAL) BELOW ROOF APPLICATION. BUILDER TO VERIFY ROOF ASSEMBLY FOR WATERPROOFING INCLUDING THE NEED FOR ADDITIONAL SHEATHING FOR ADEQUATE NAILING.
- G** BLOCK OUT FOR CHIMNEY. SADDLE & FLASH AS REQ'D.
- H** POTENTIAL LOCATION FOR AC UNIT. BLDG. TO VERIFY ADEQUATE LOCATIONS.

SCHEMATIC ROOF PLAN (CONT'D.)
SCALE: 1/4" = 1'-0"

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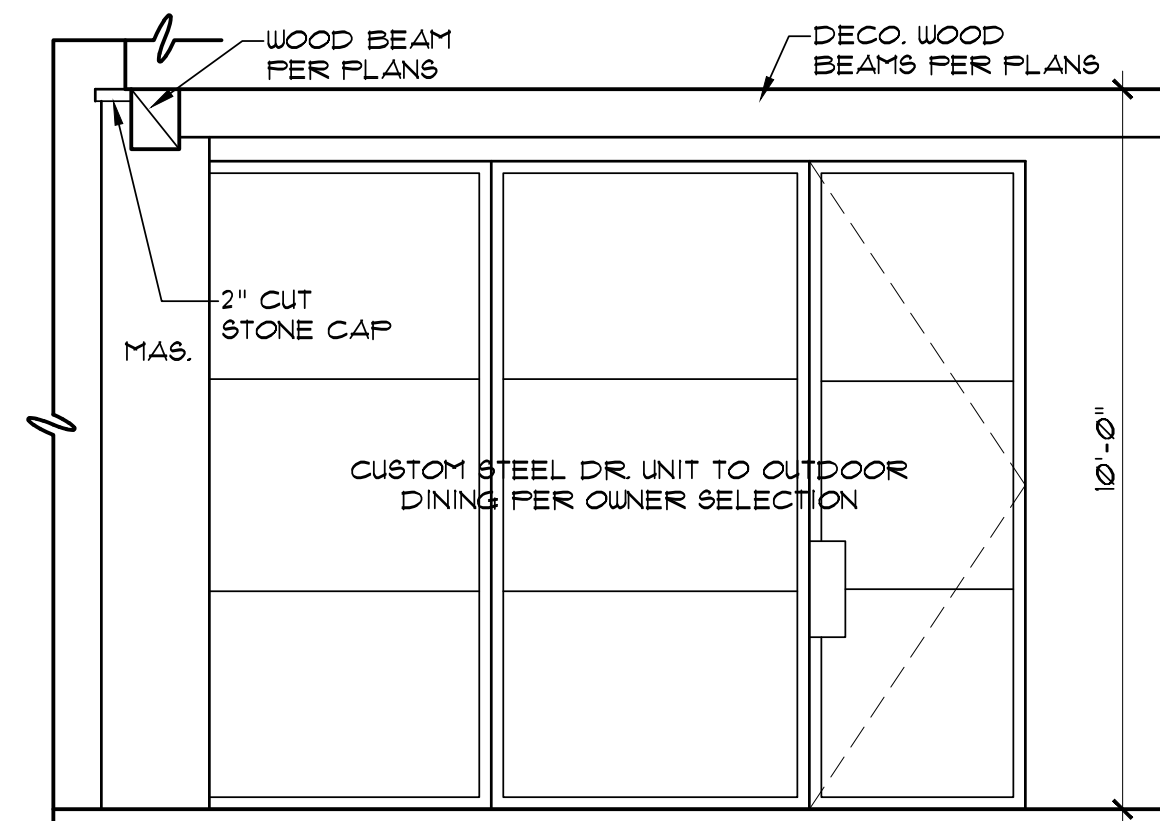
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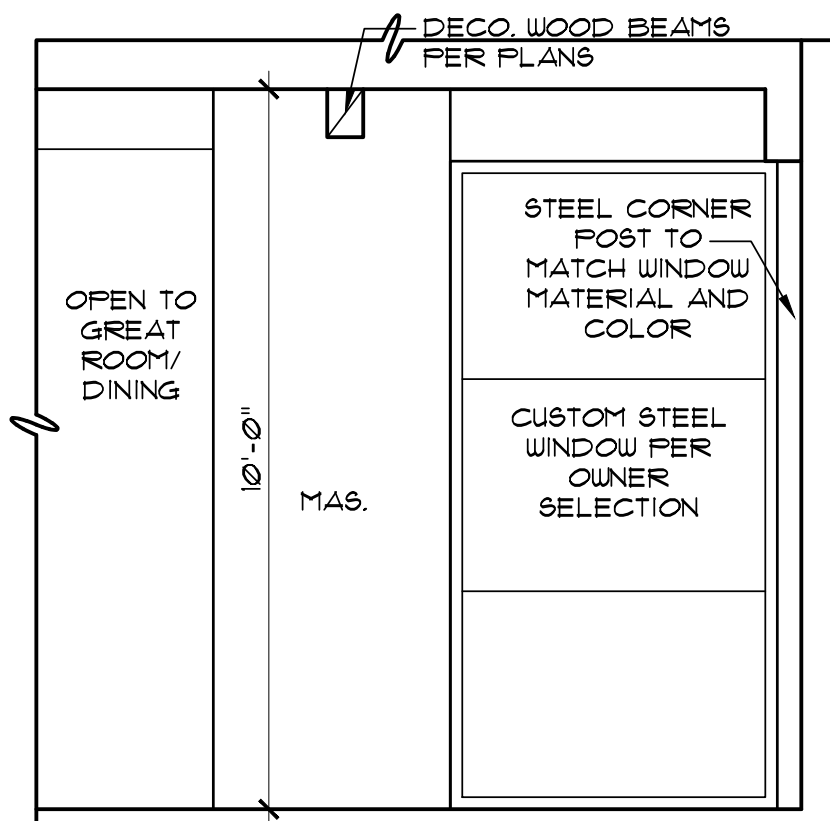
PROJ. NO.: 25008
DATE: 28 MAR. 2025

A-17

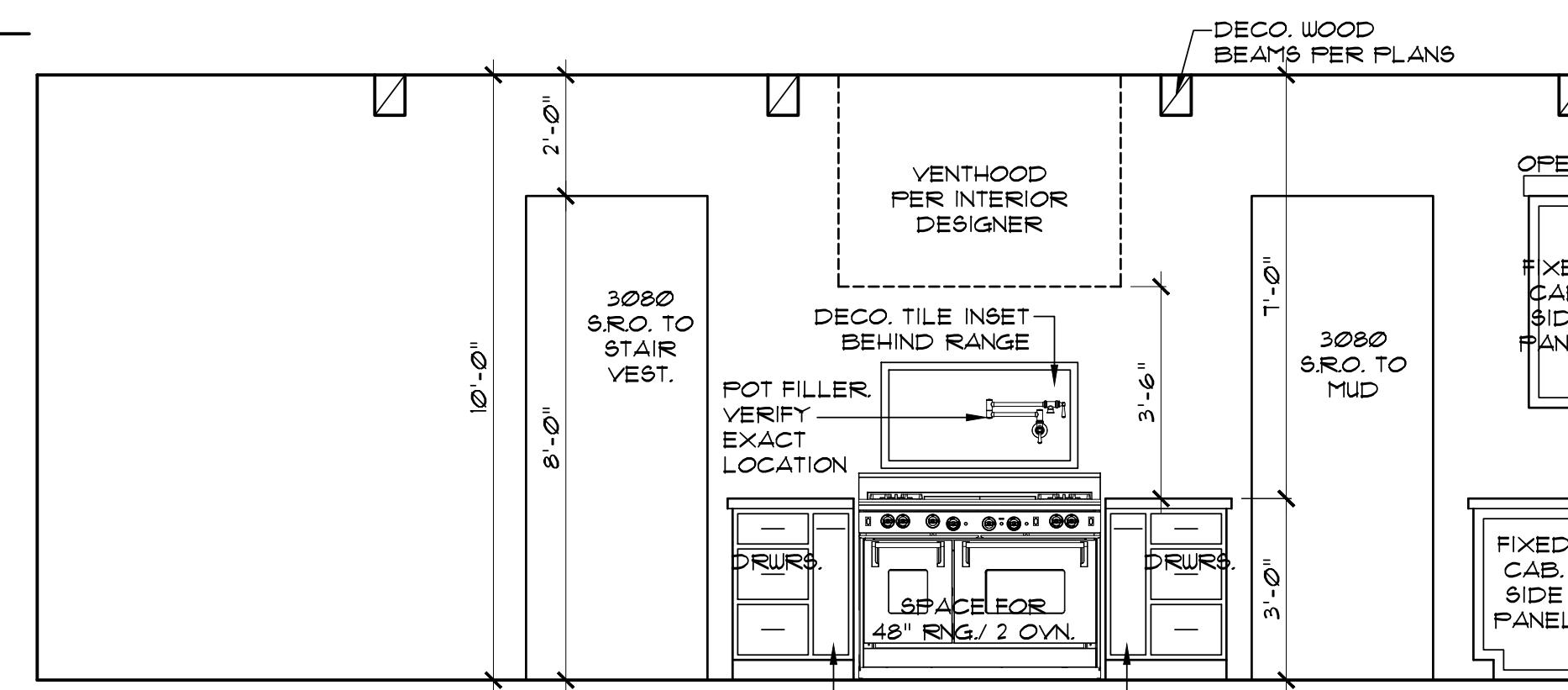
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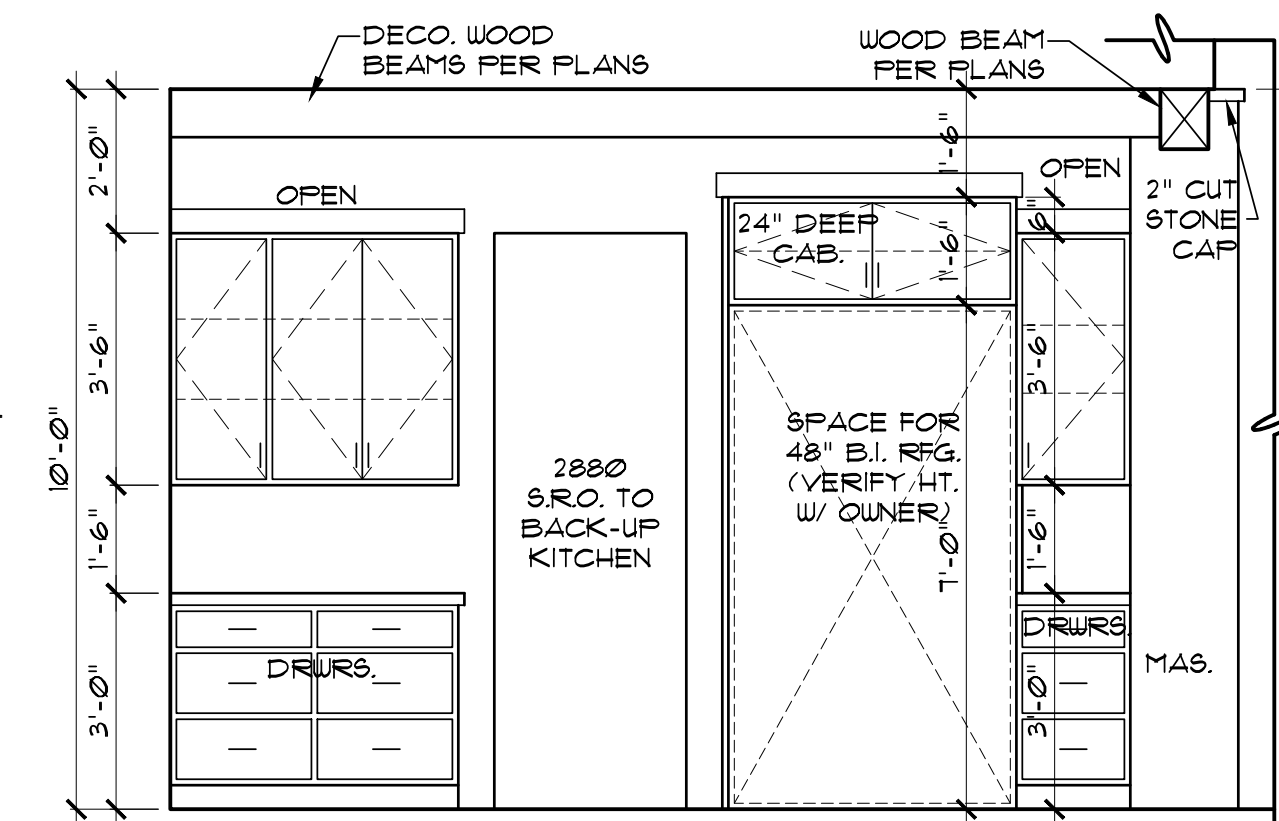
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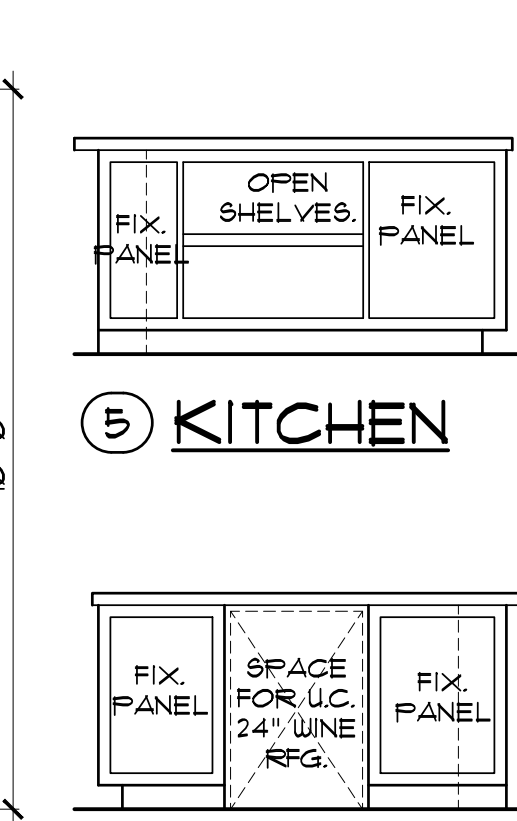
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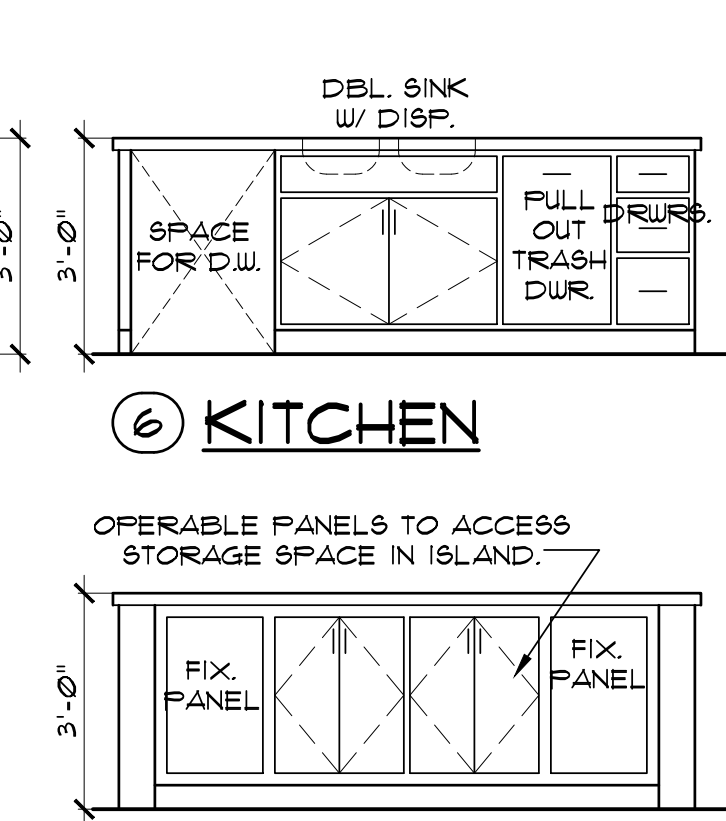
3 BREAKFAST/ KITCHEN



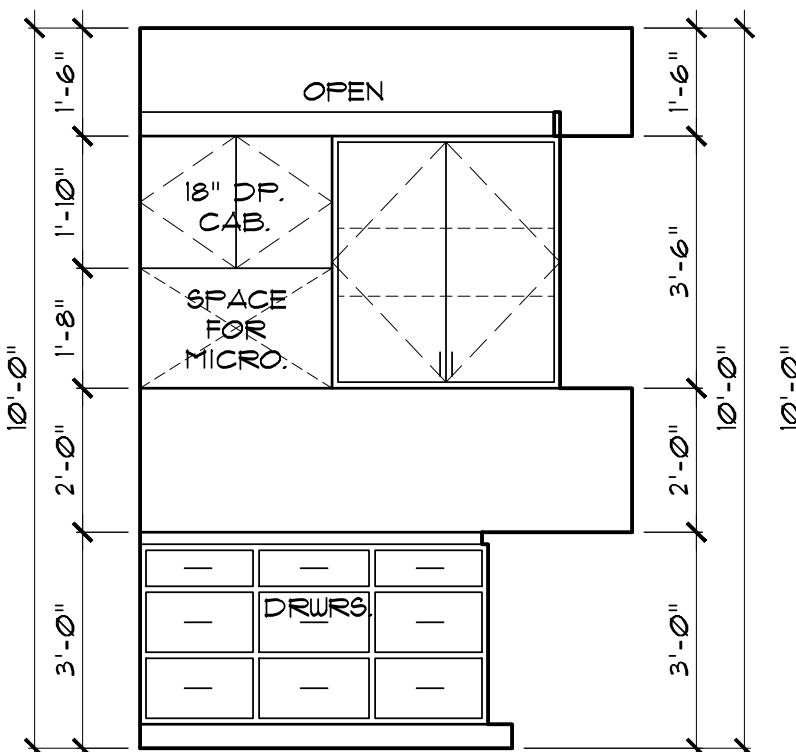
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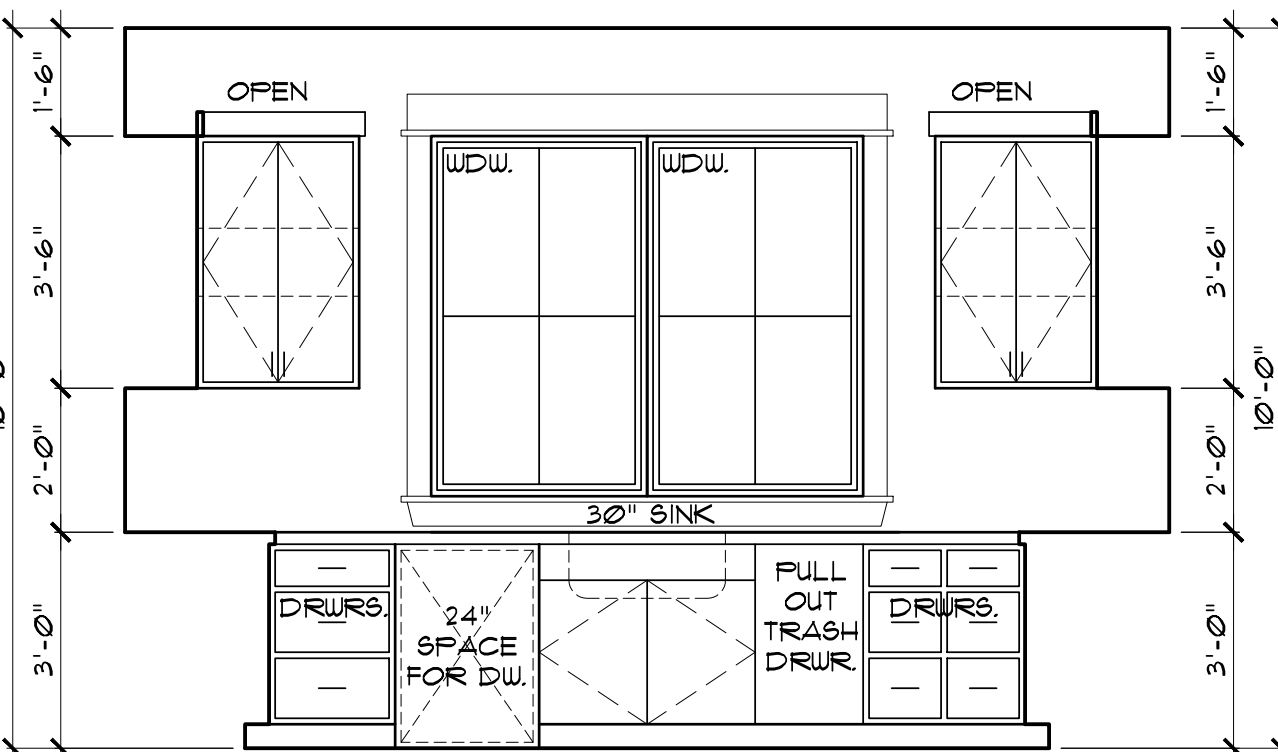
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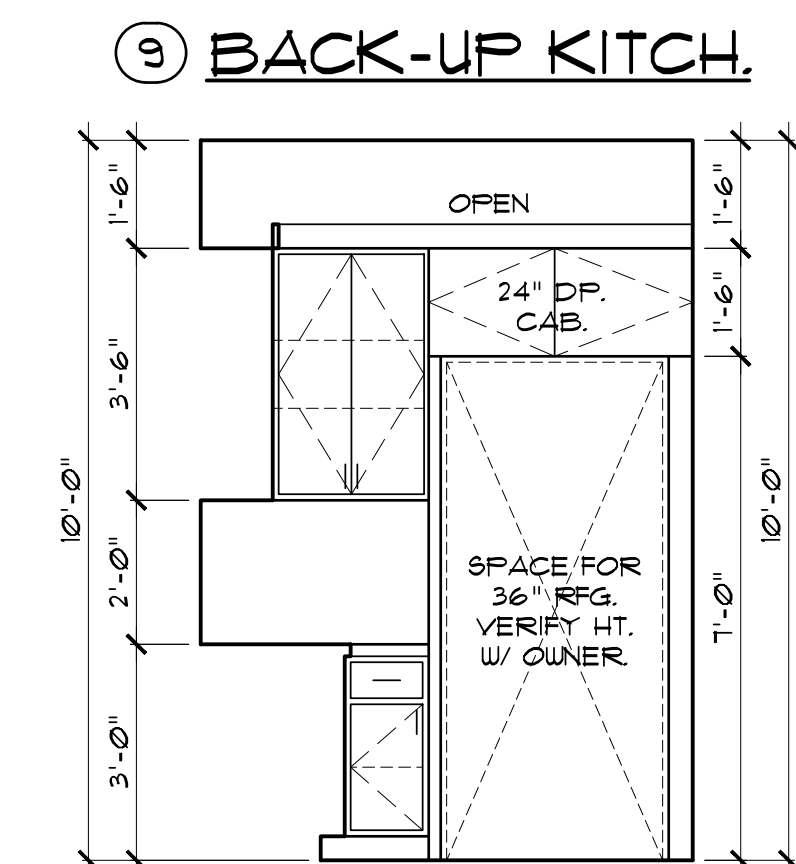
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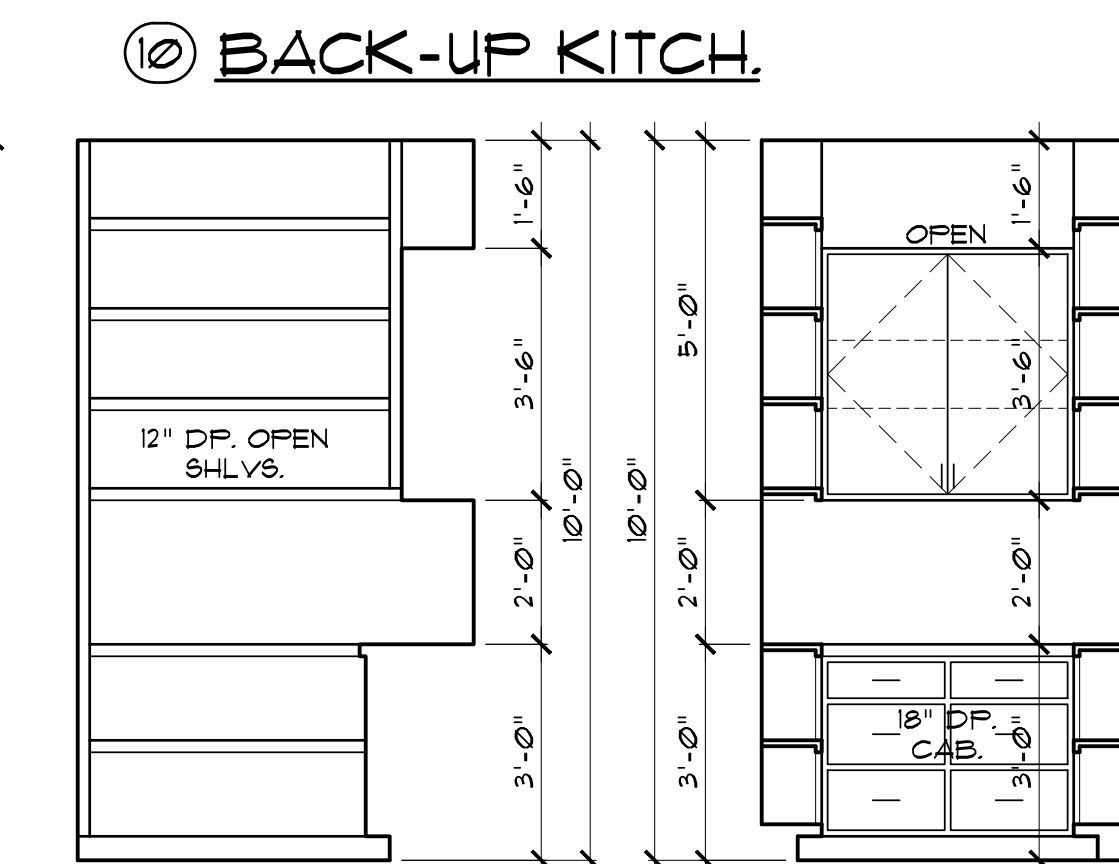
7 BACK-UP KITCH.



8 BACK-UP KITCH.



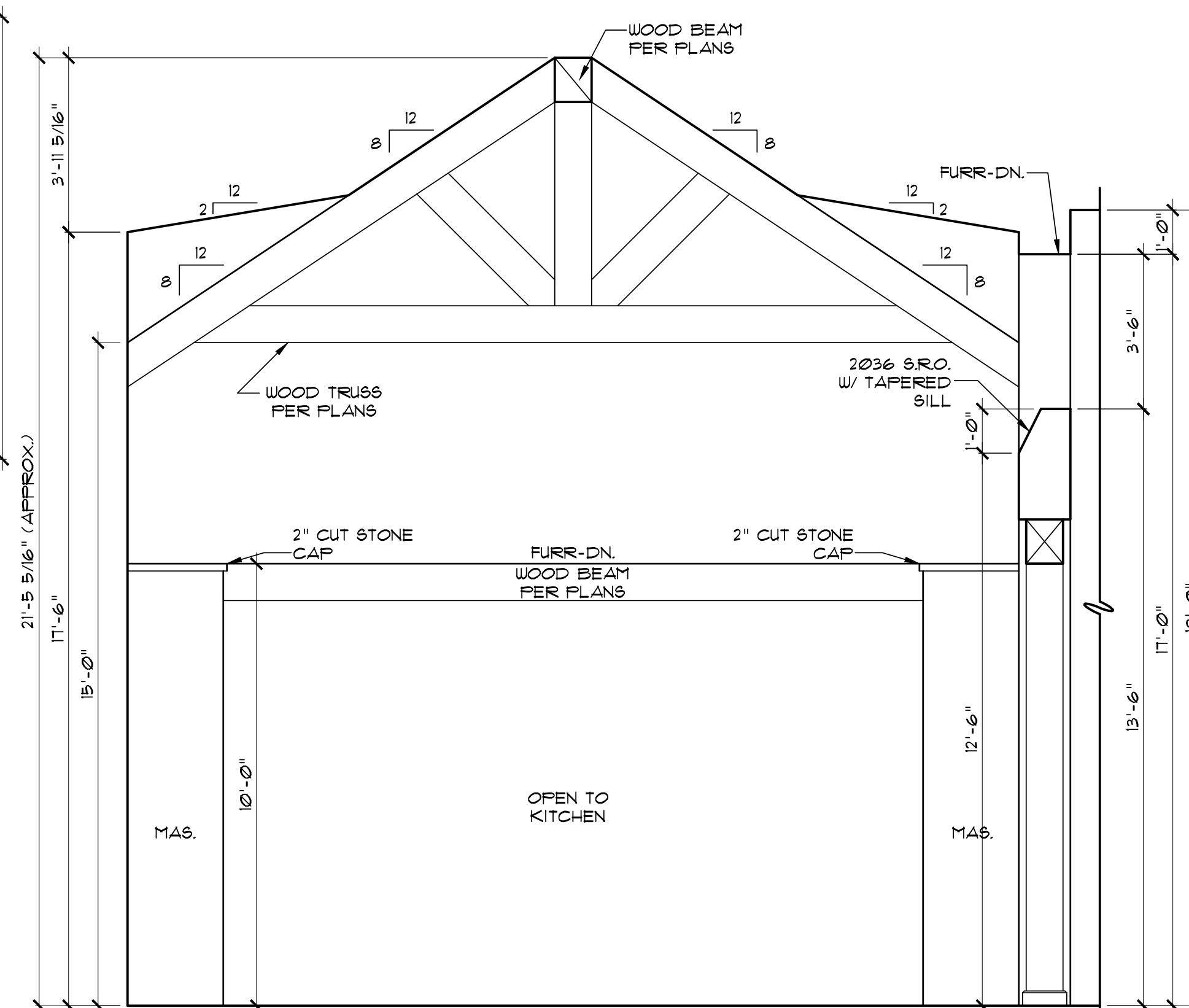
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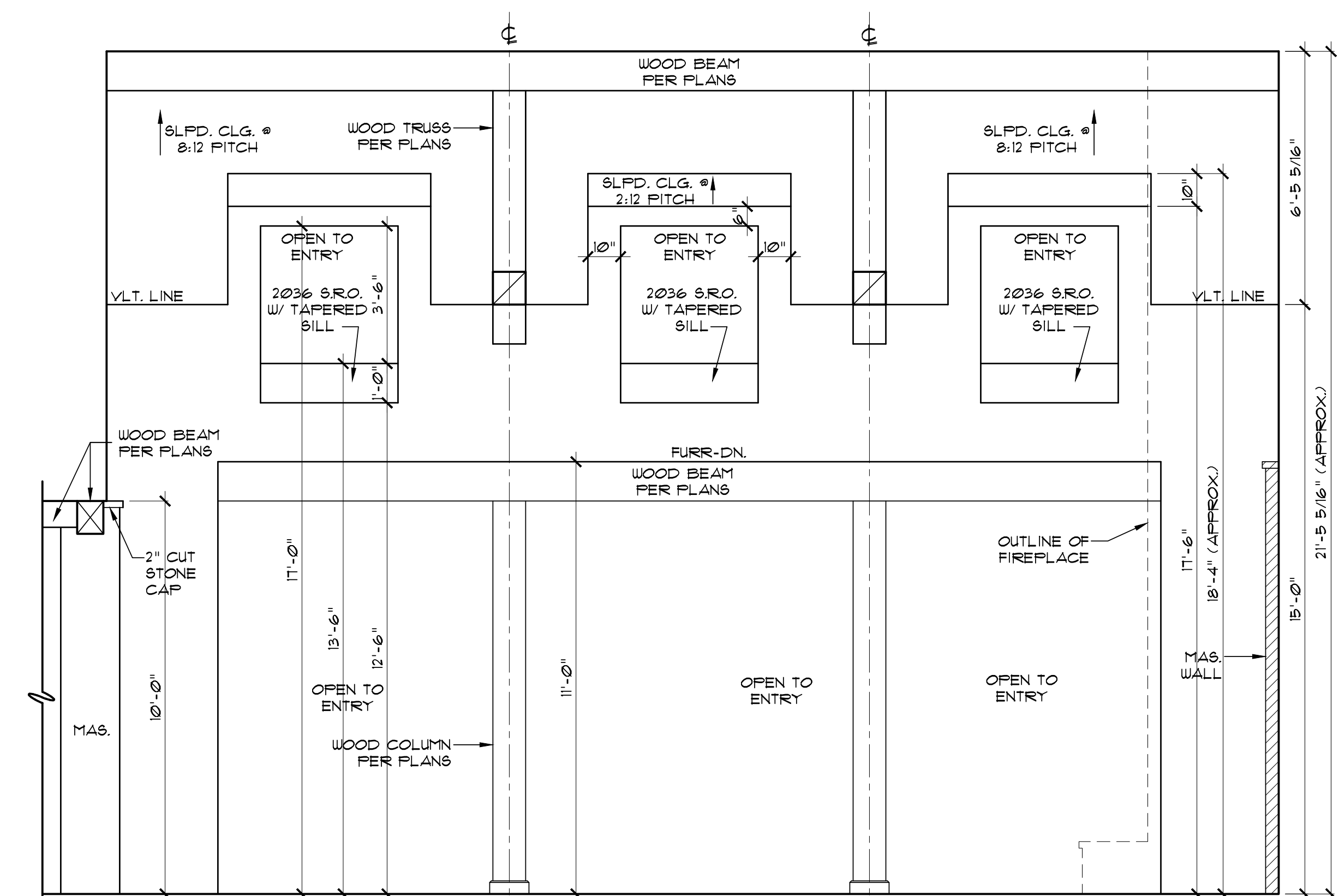
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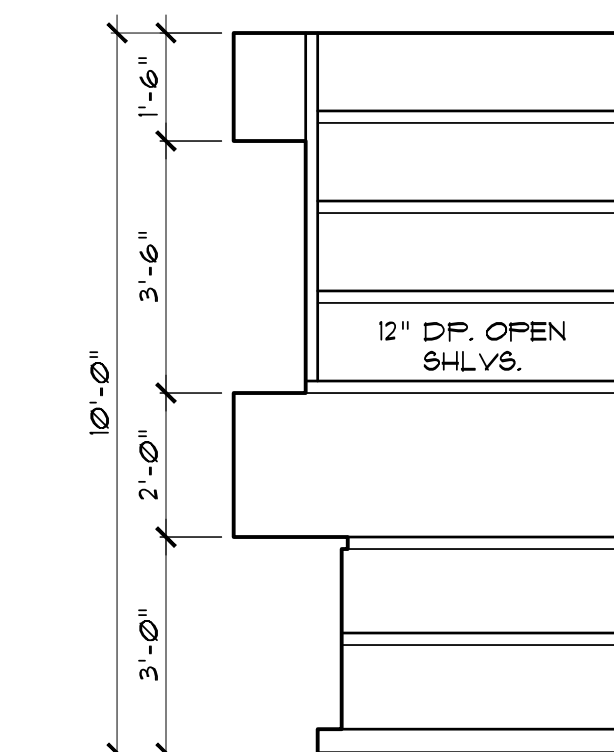
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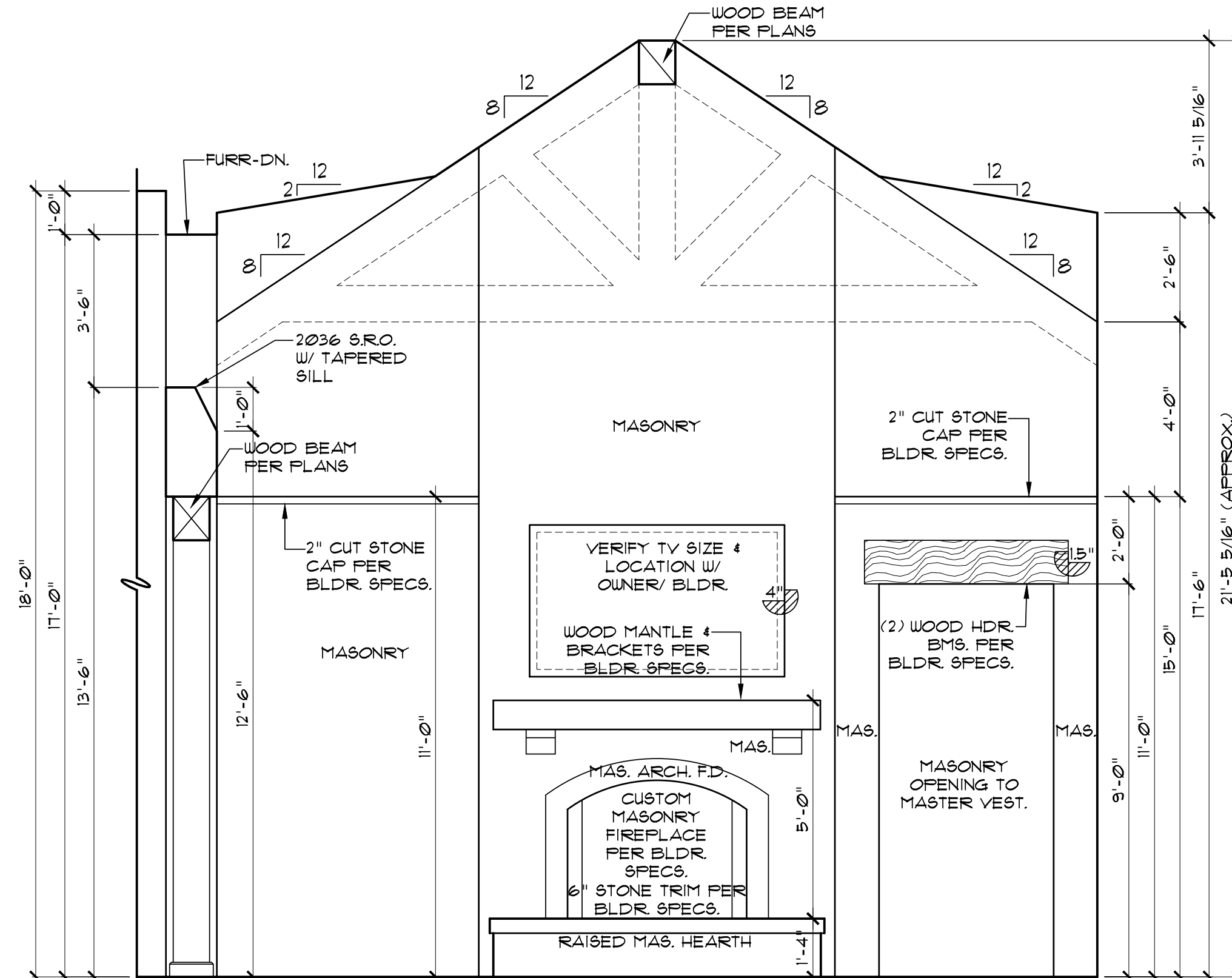
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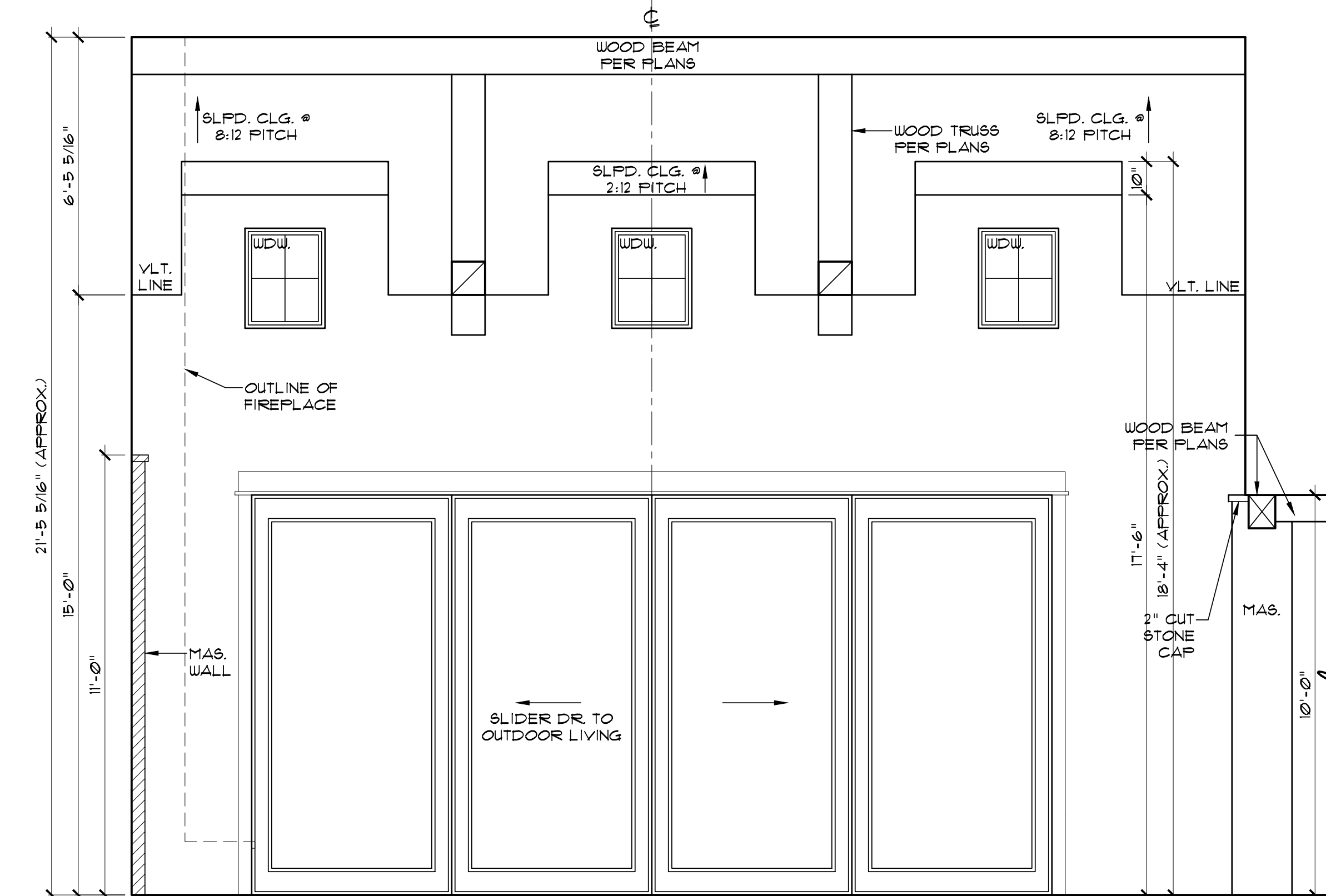
13 GREAT ROOM/ DINING



14 PANTRY



15 GREAT ROOM/ DINING



16 GREAT ROOM/ DINING

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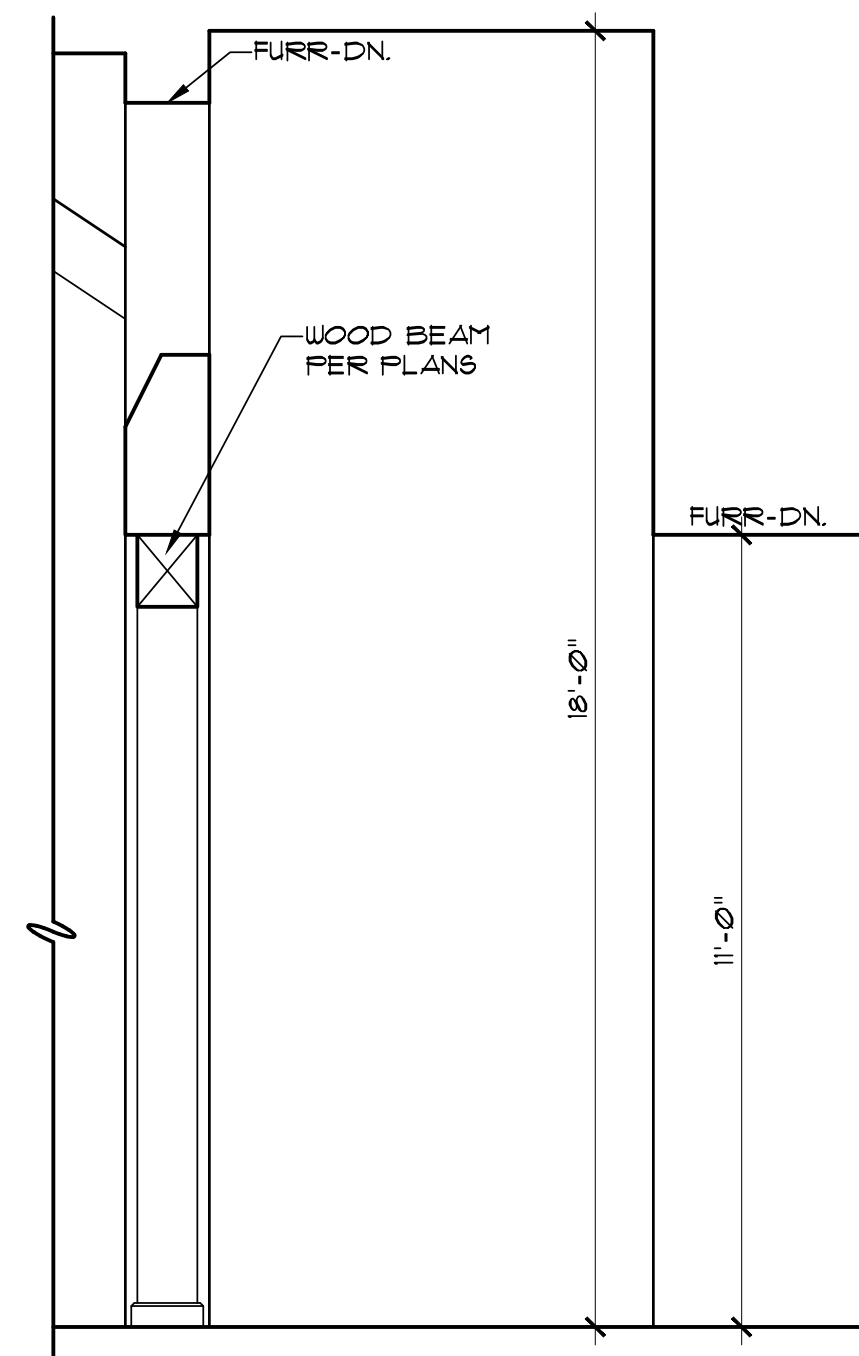
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SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"

A-18

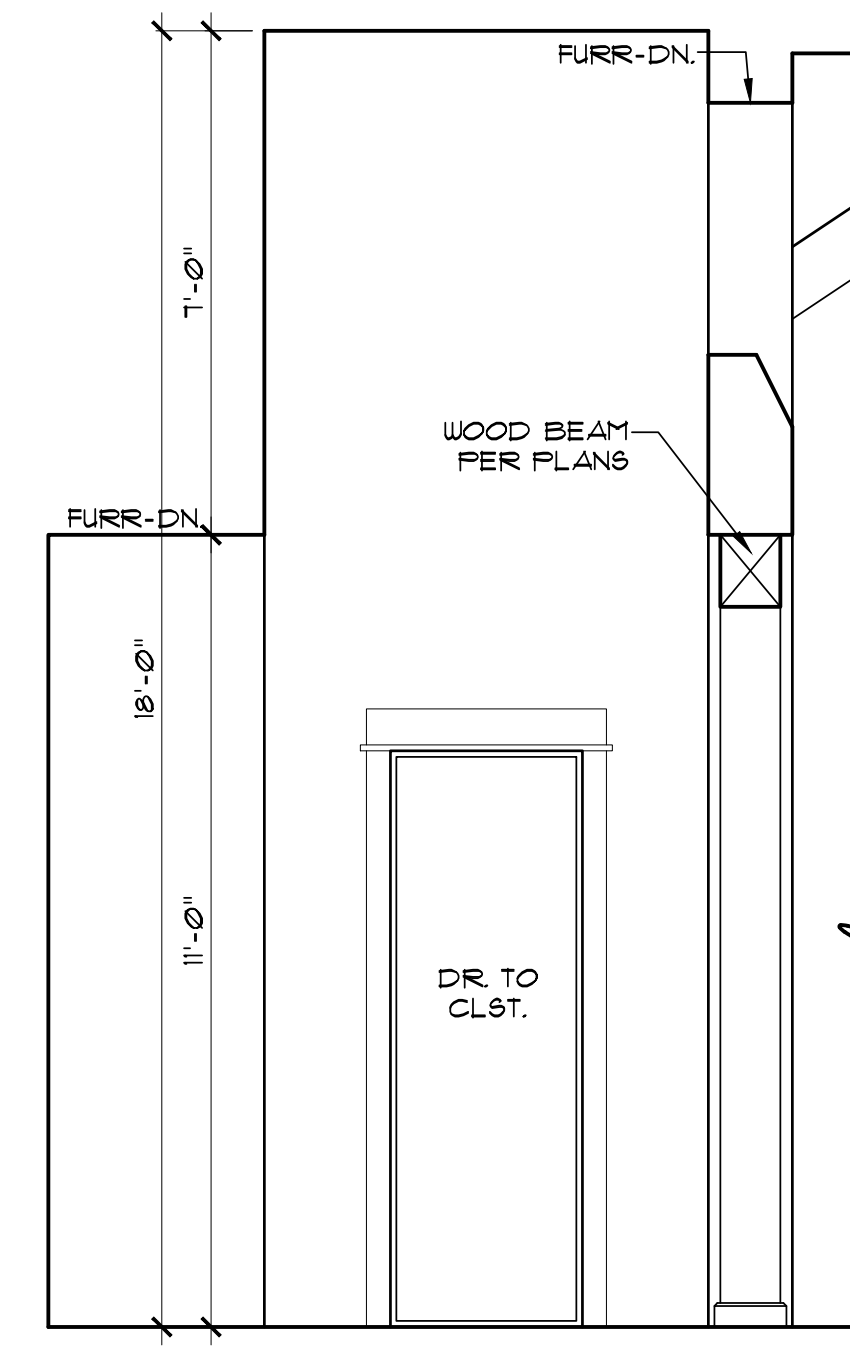
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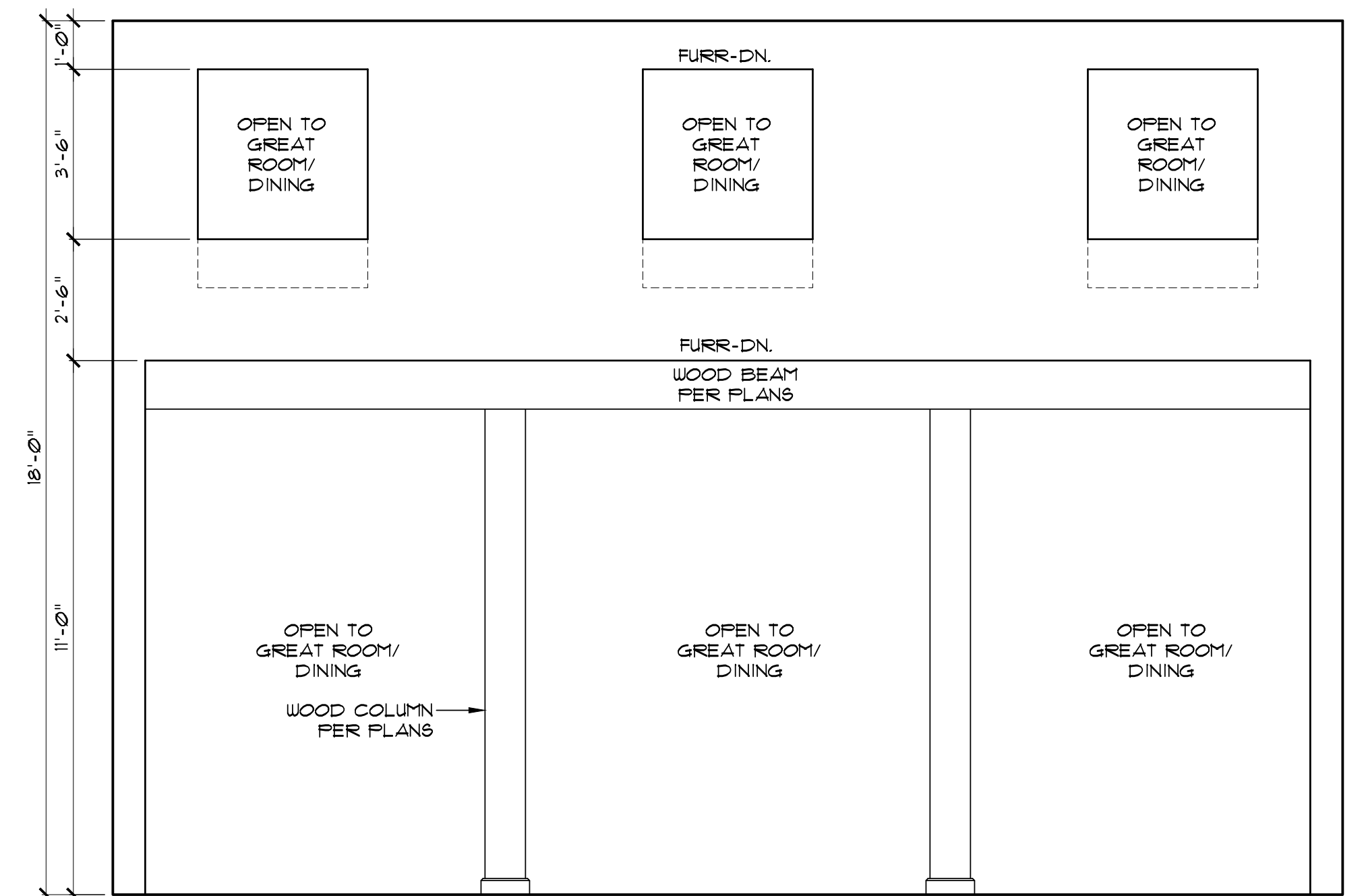
19 ENTRY



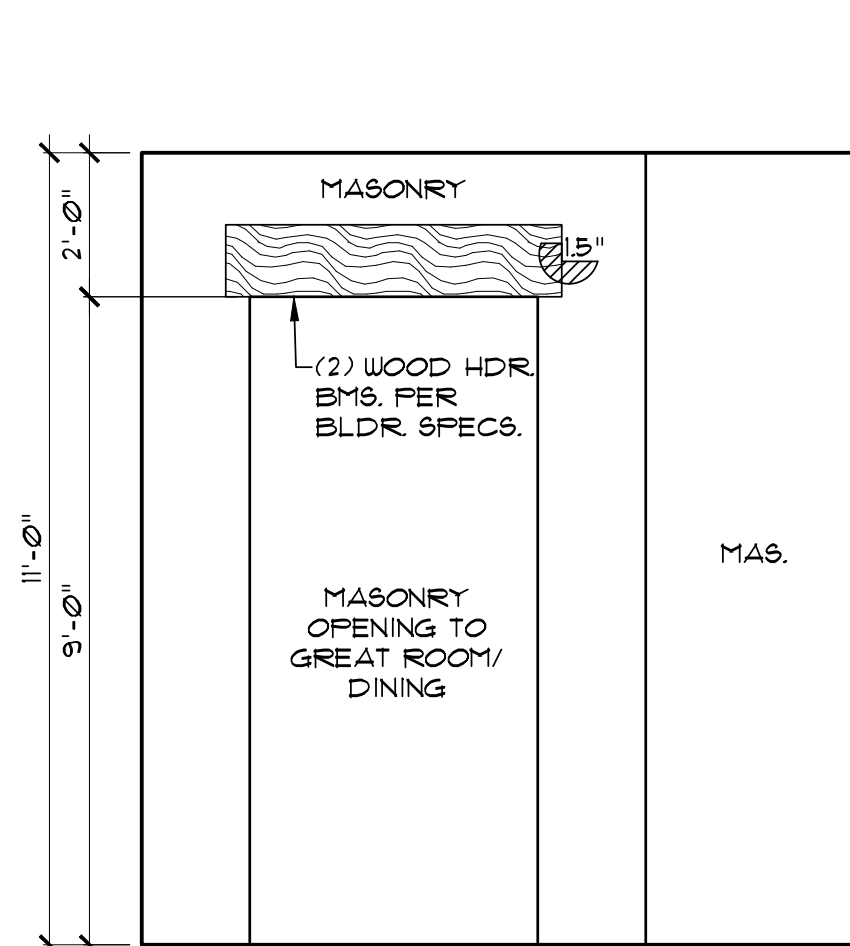
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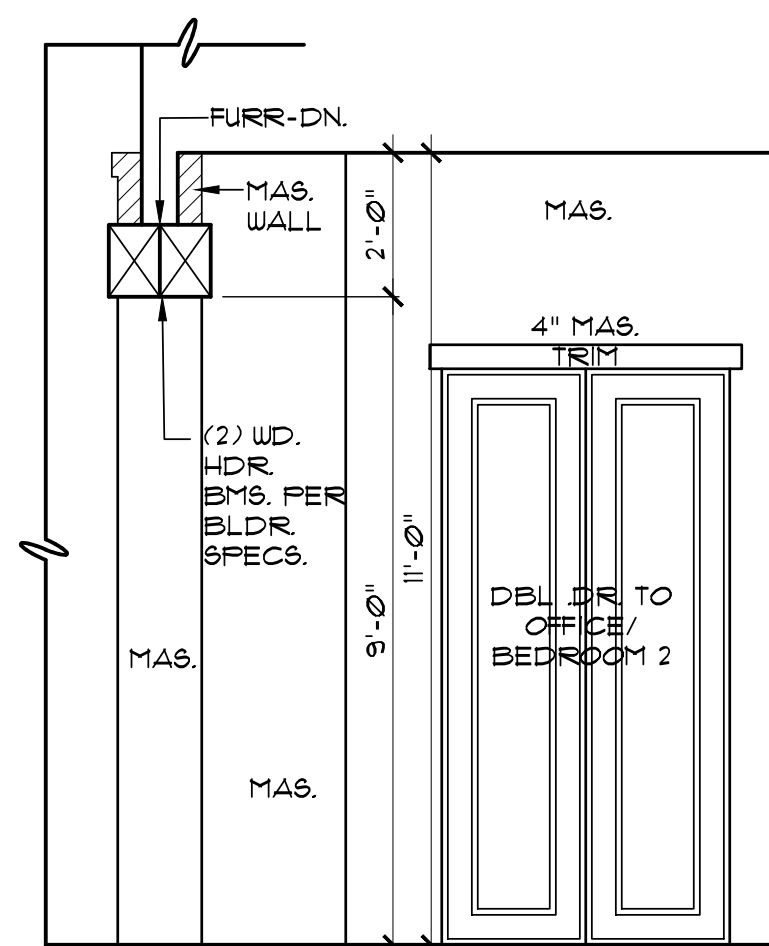
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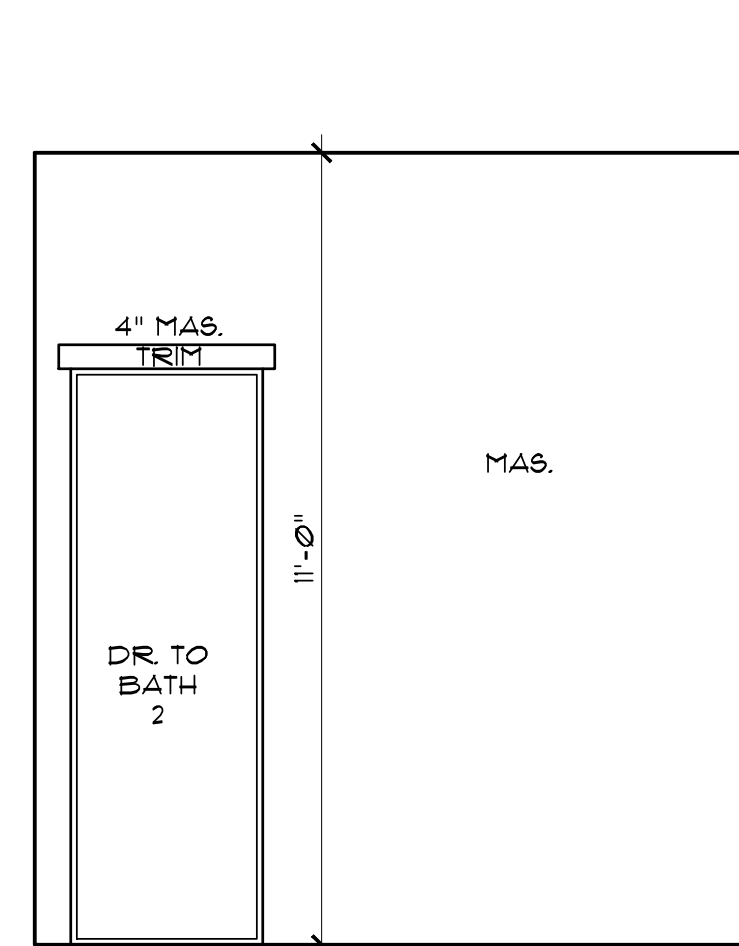
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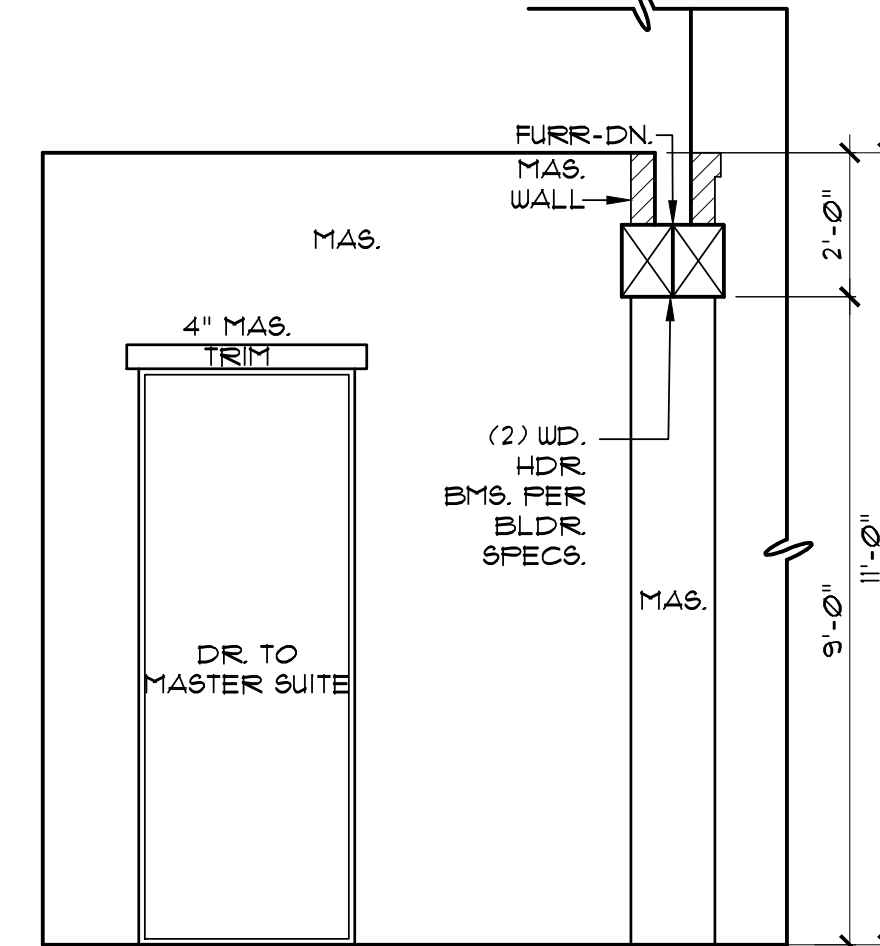
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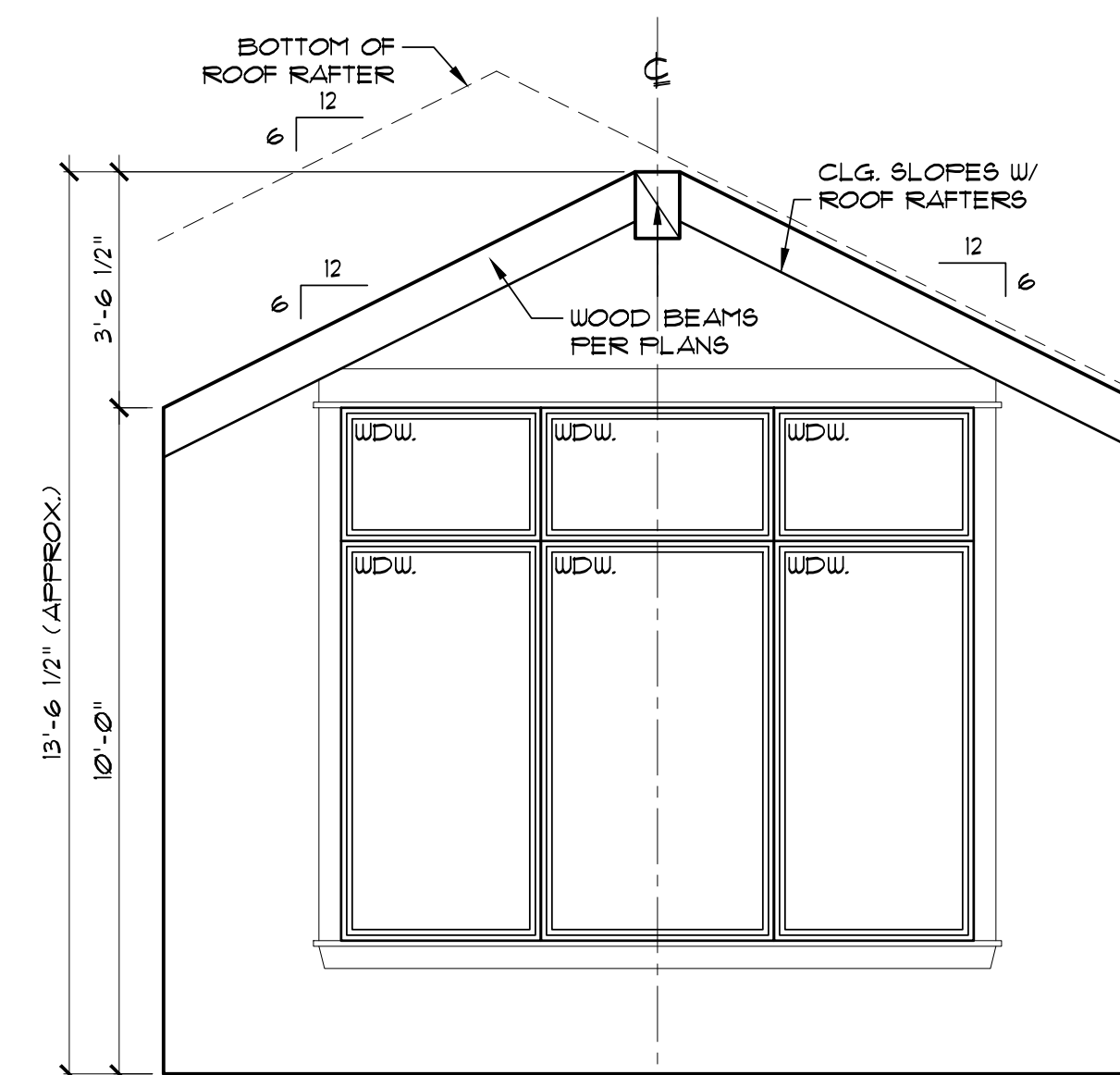
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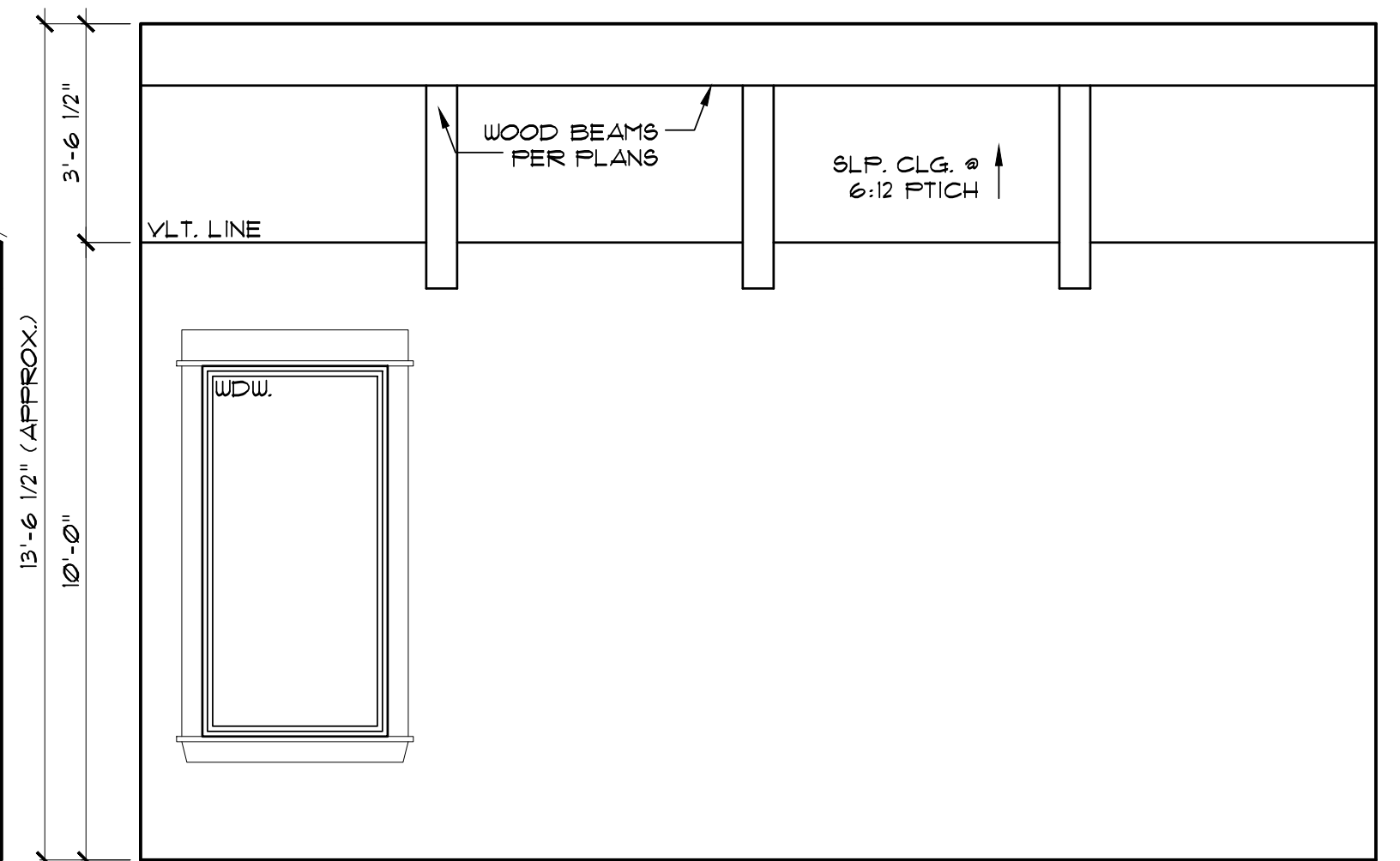
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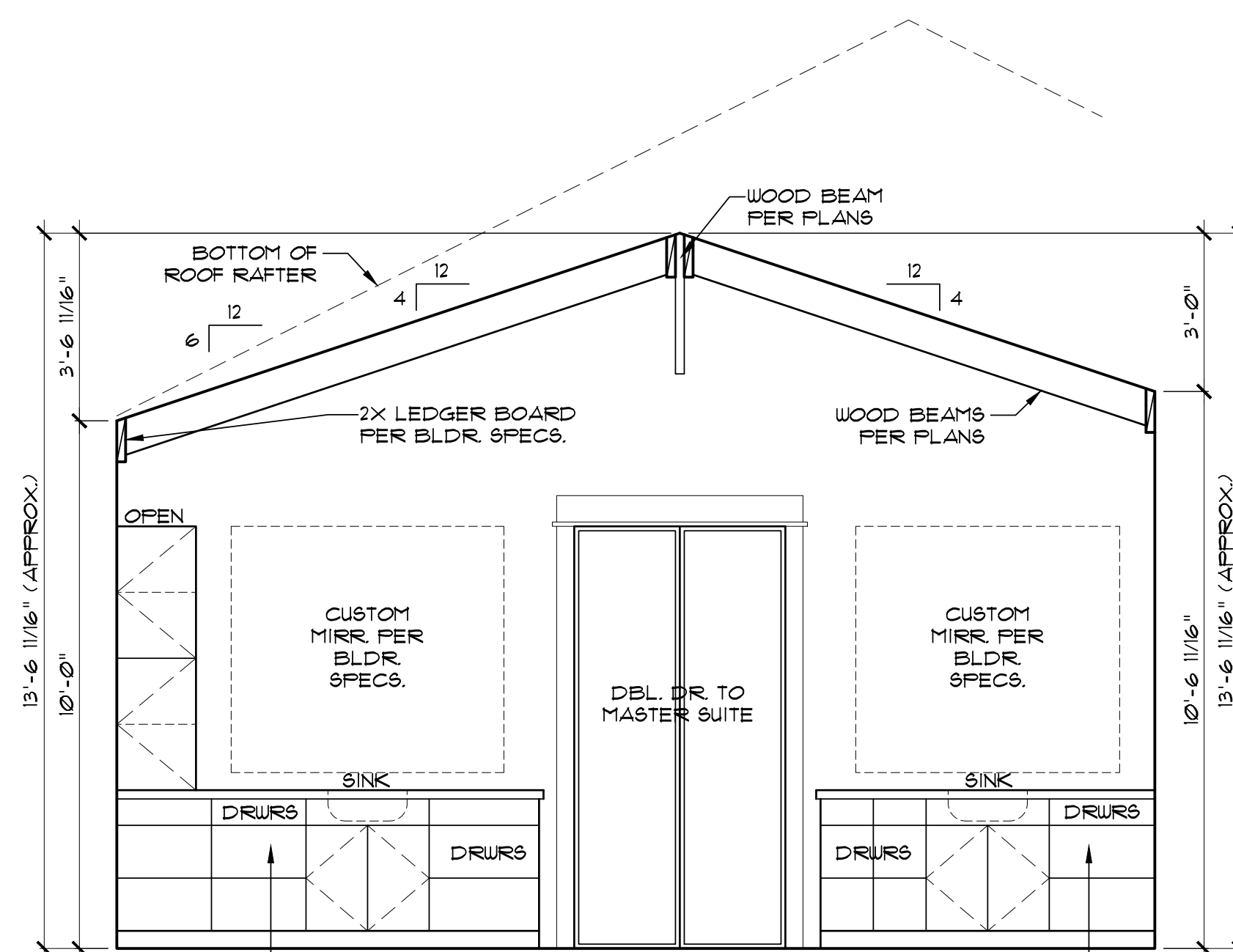
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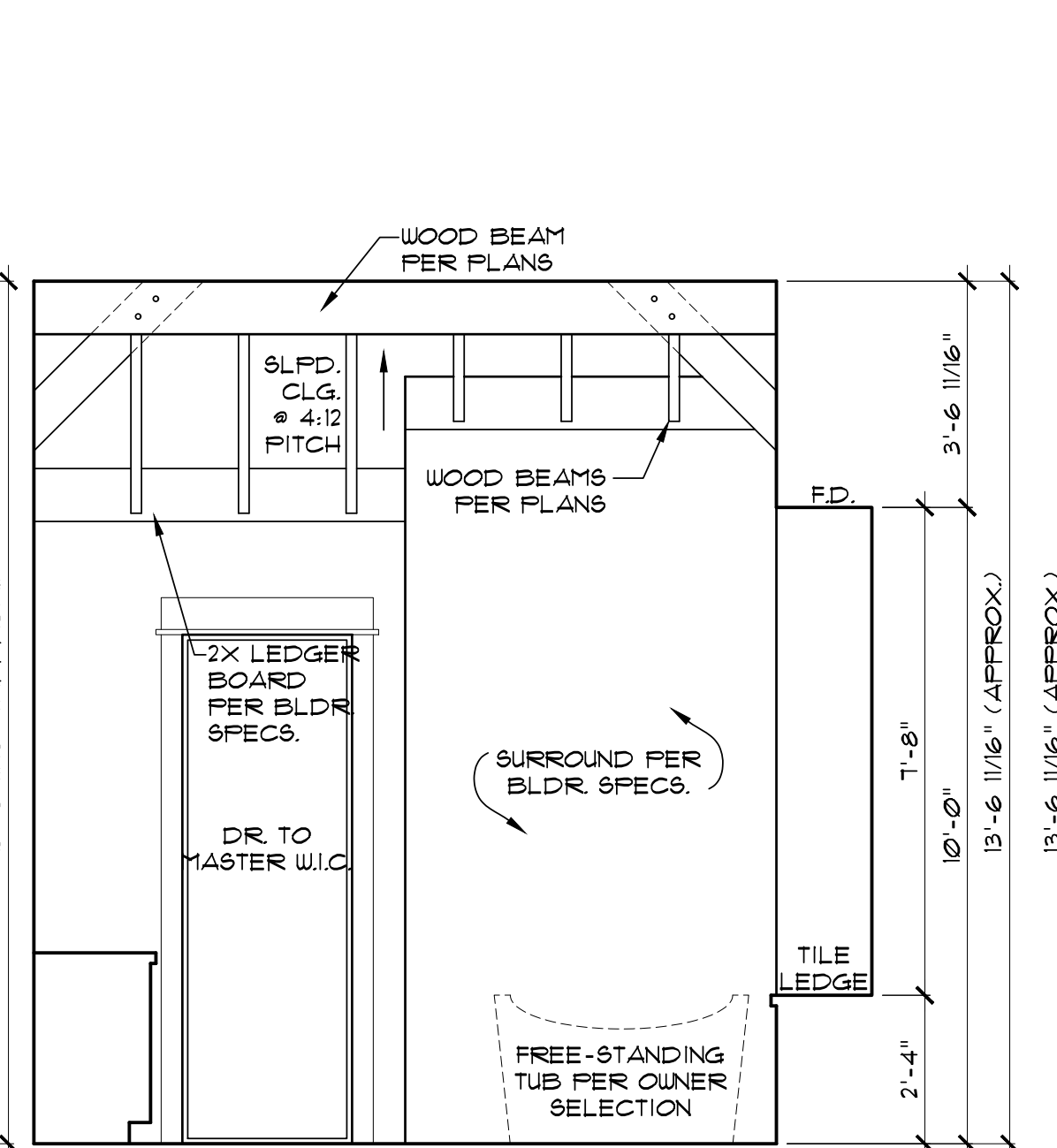
27 MASTER SUITE



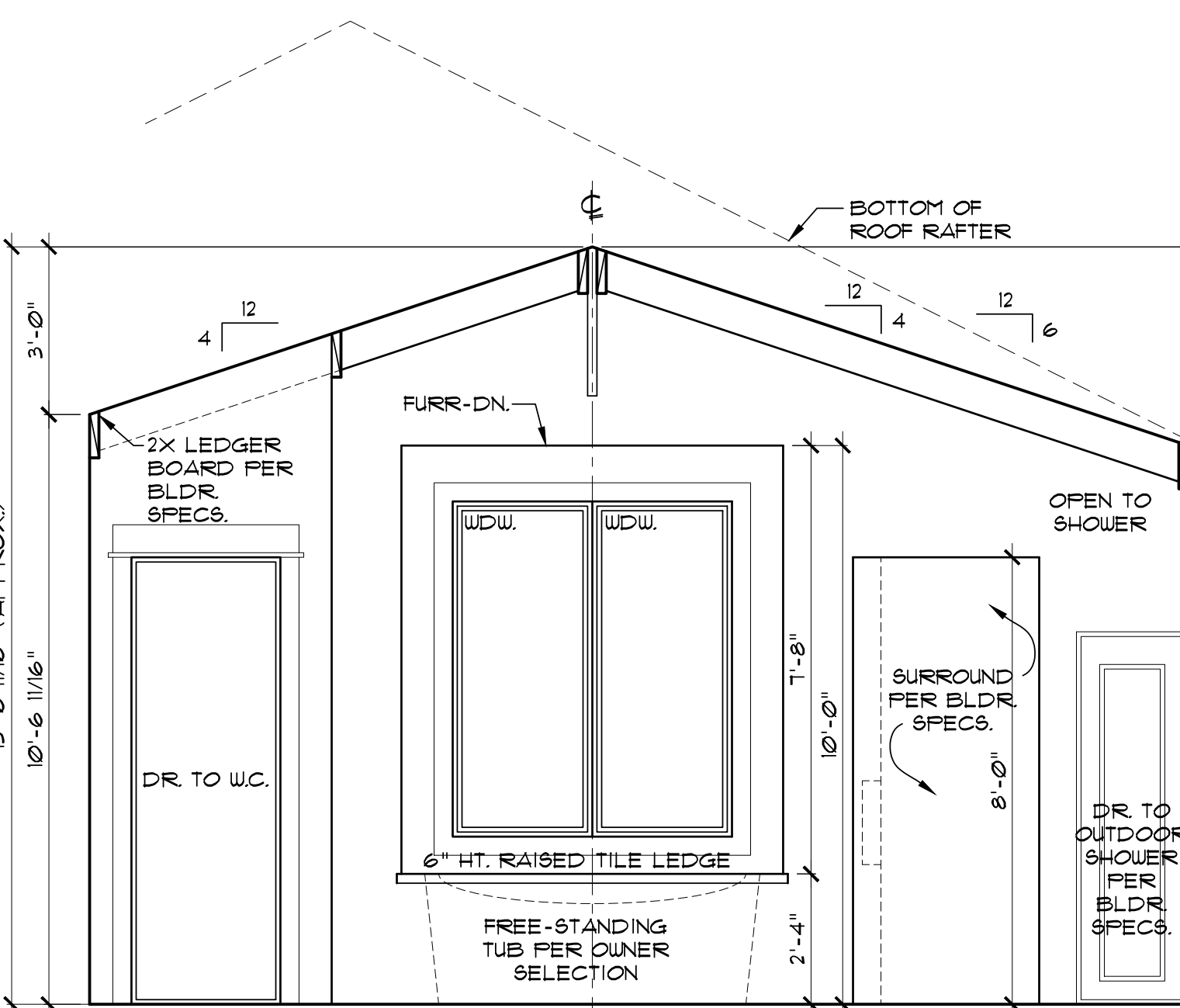
28 MASTER SUITE



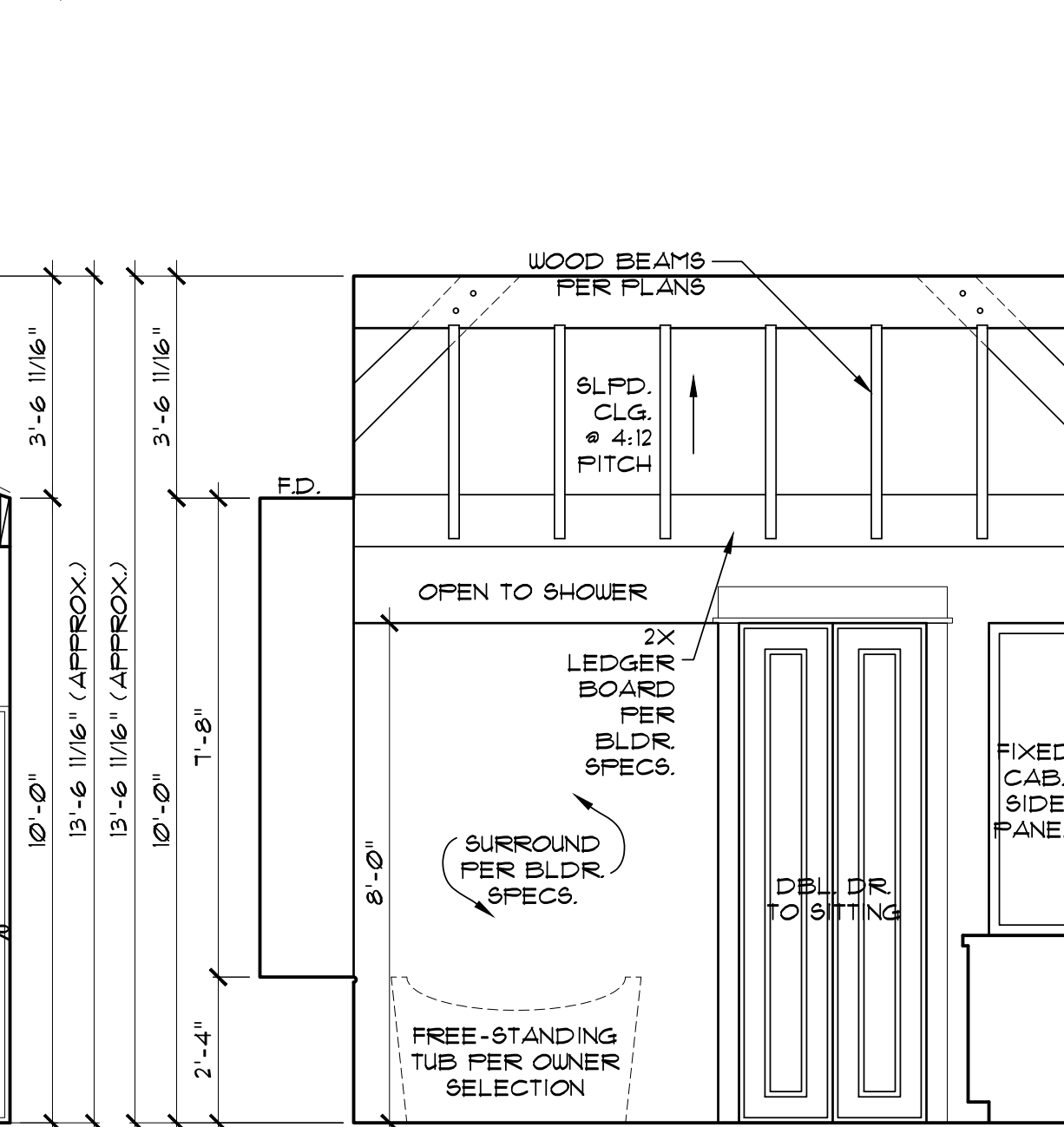
29 MASTER BATH



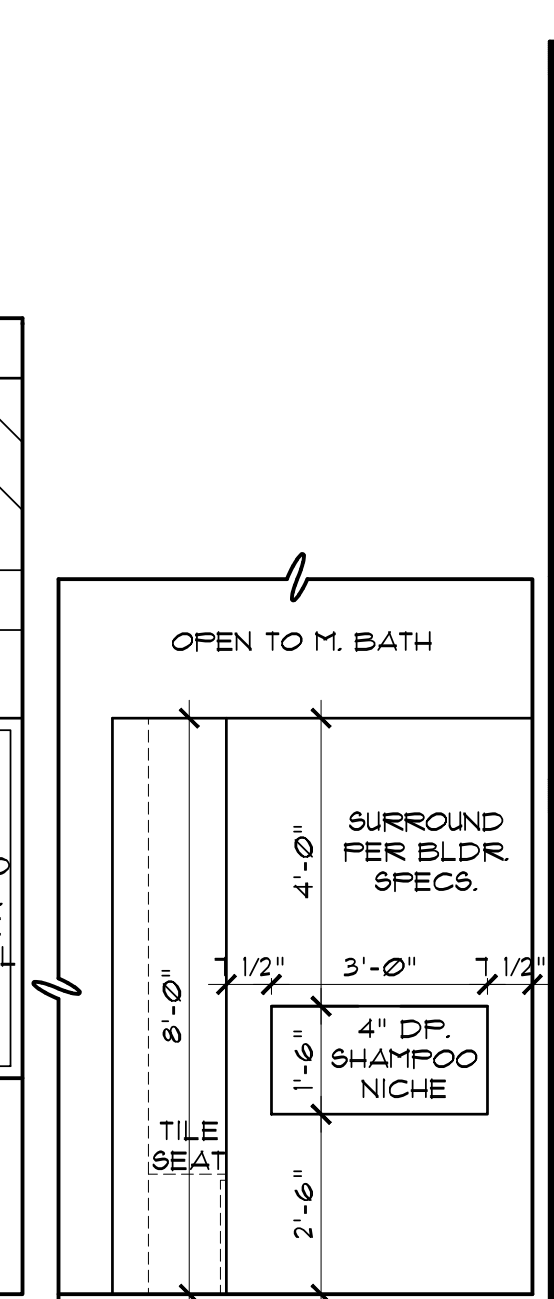
30 MASTER BATH



31 MASTER BATH



32 MASTER BATH



33 MSTR. SHWR.

34 N/A

INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"

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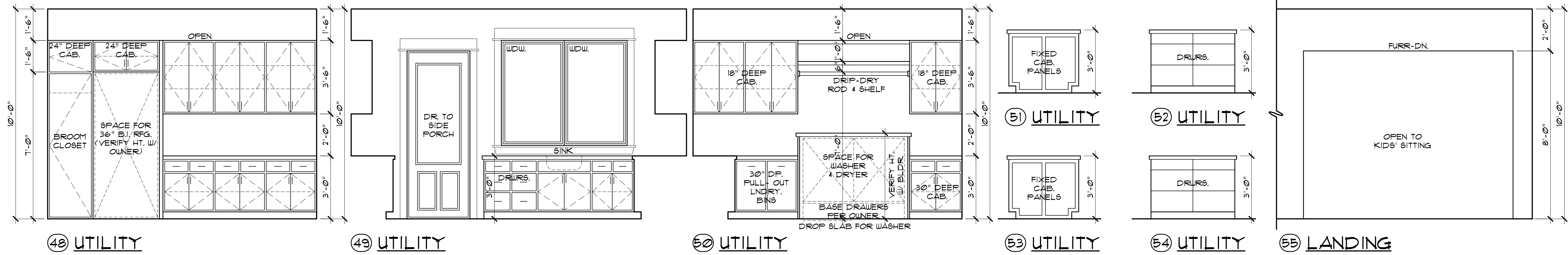
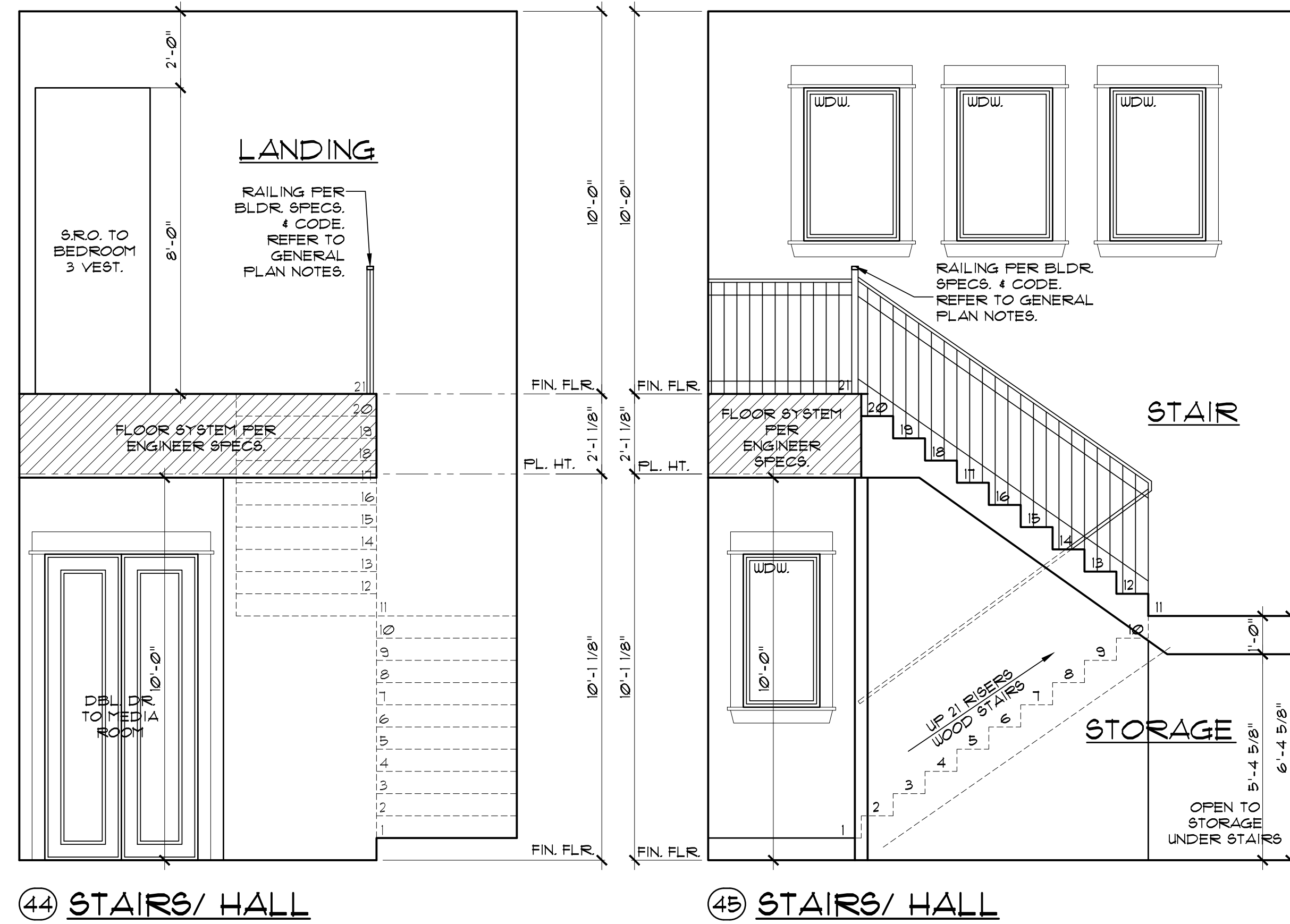
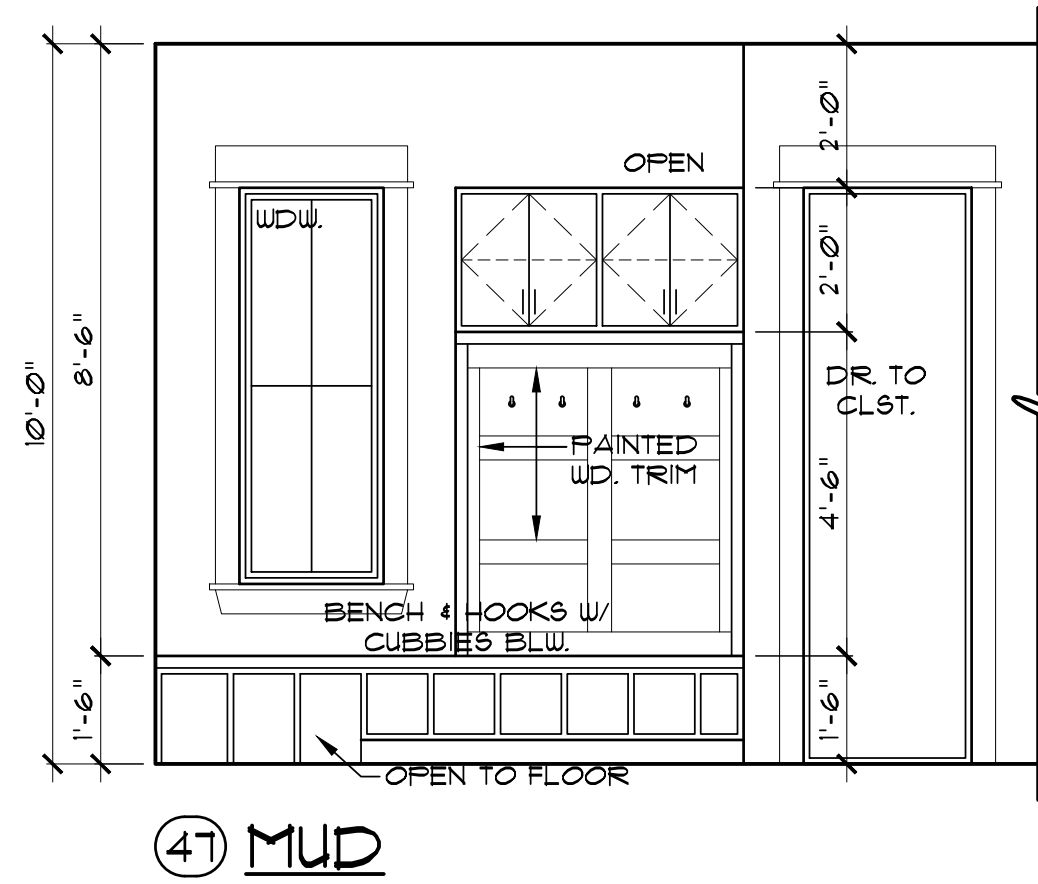
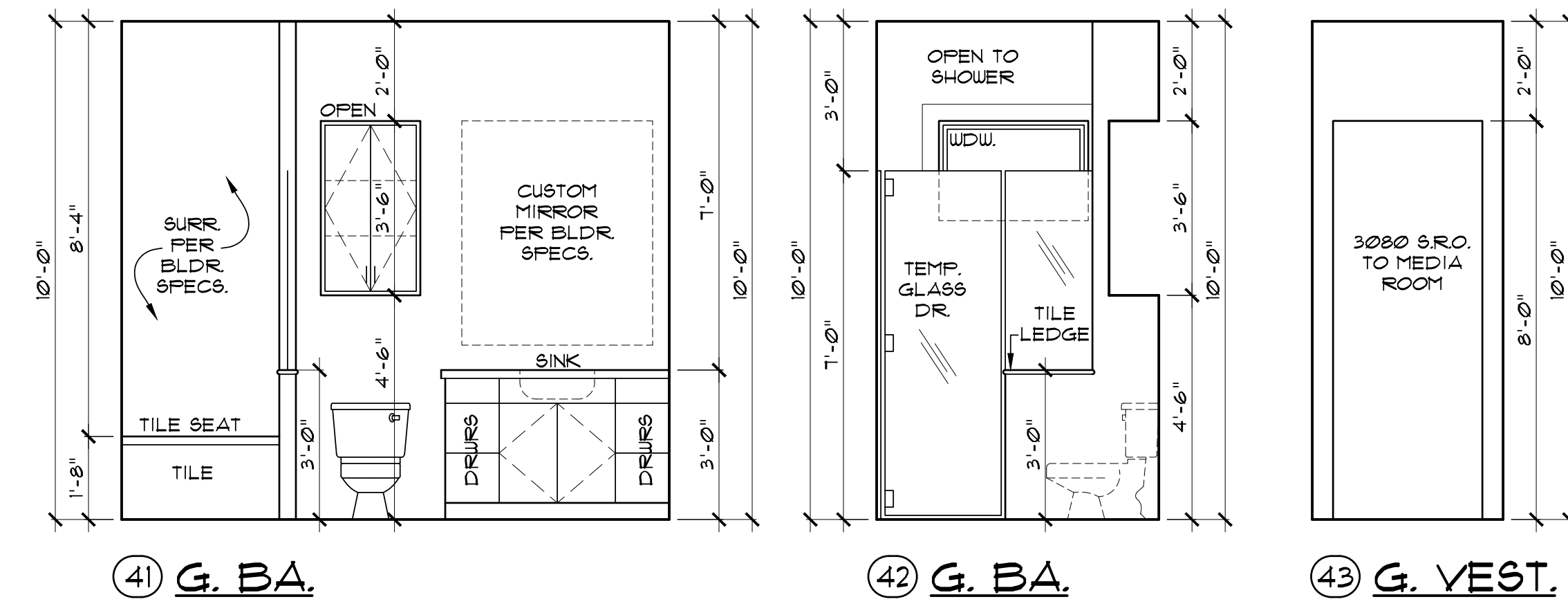
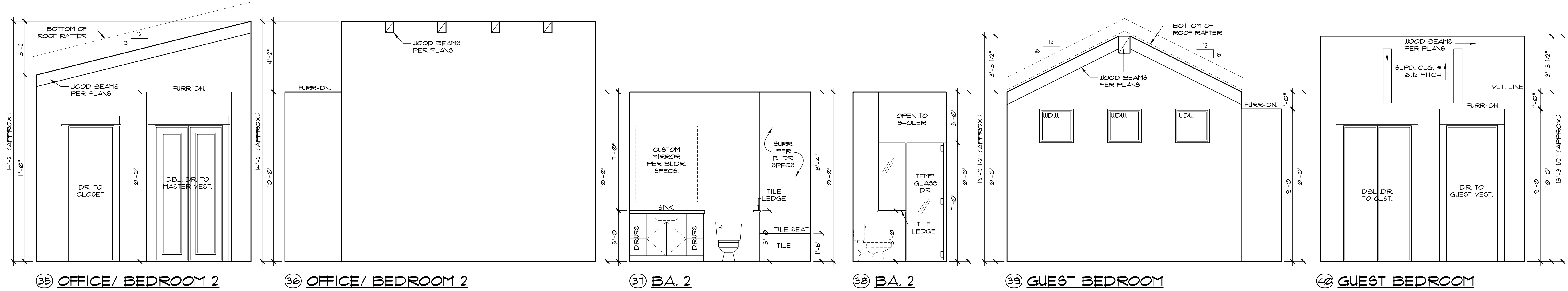
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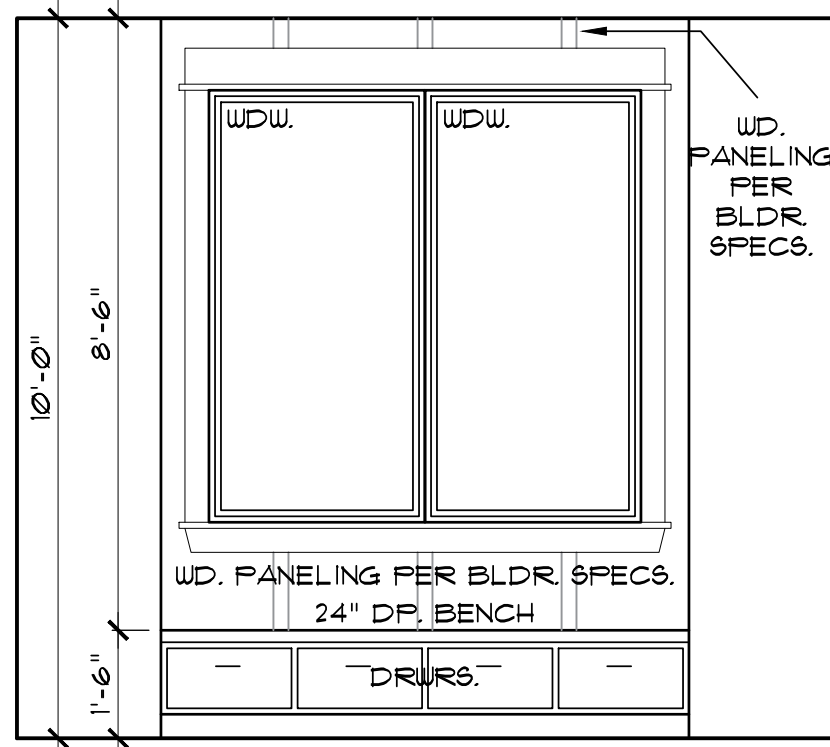
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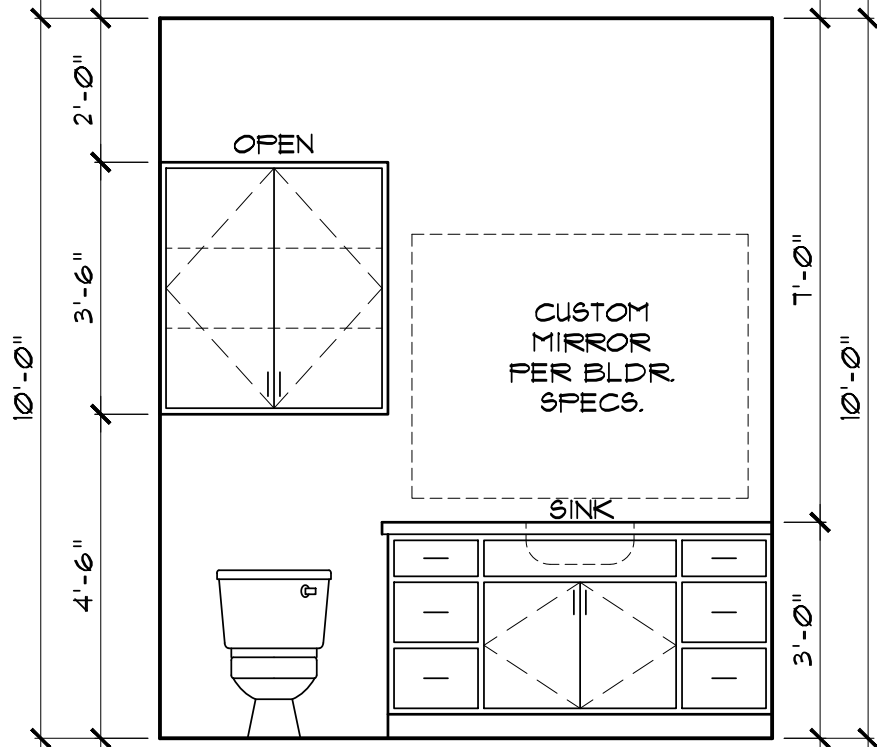
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DMV

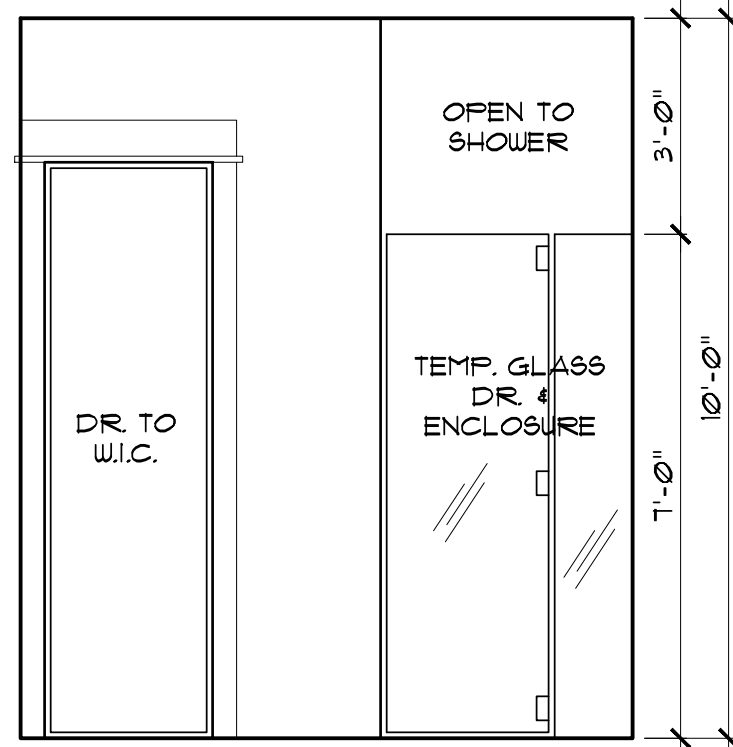
INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"



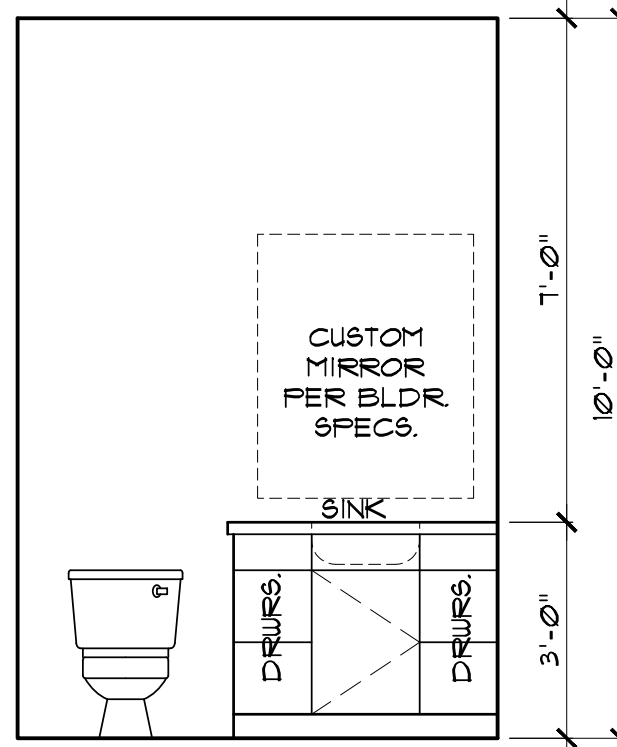
56 BEDROOM 3



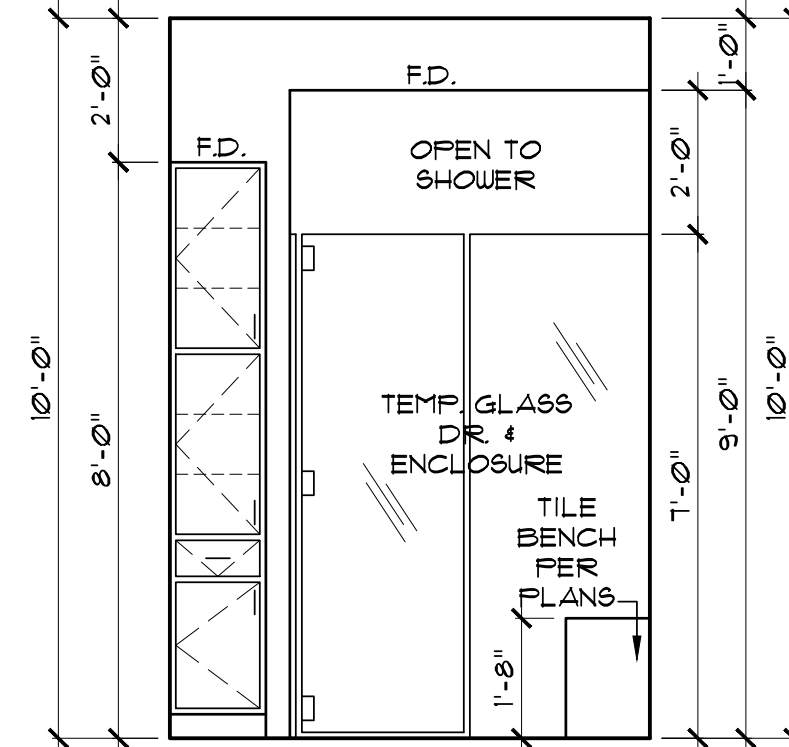
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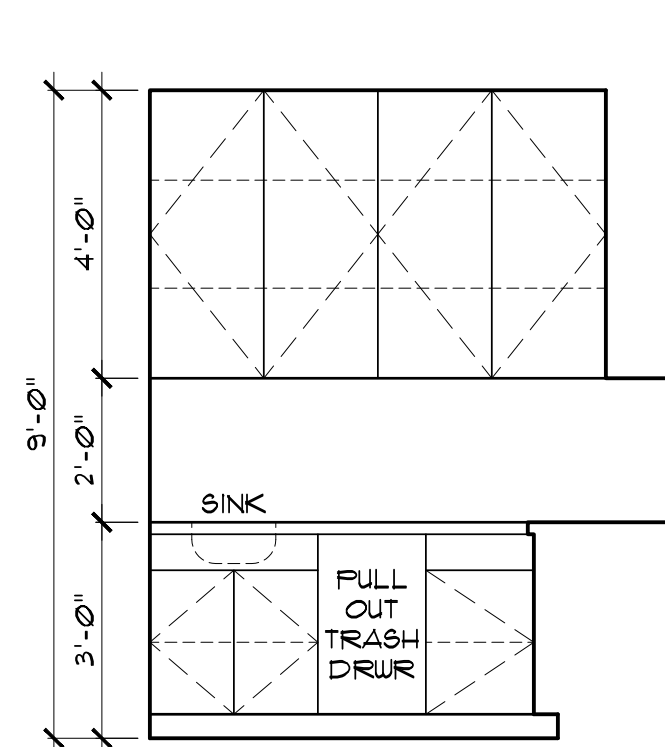
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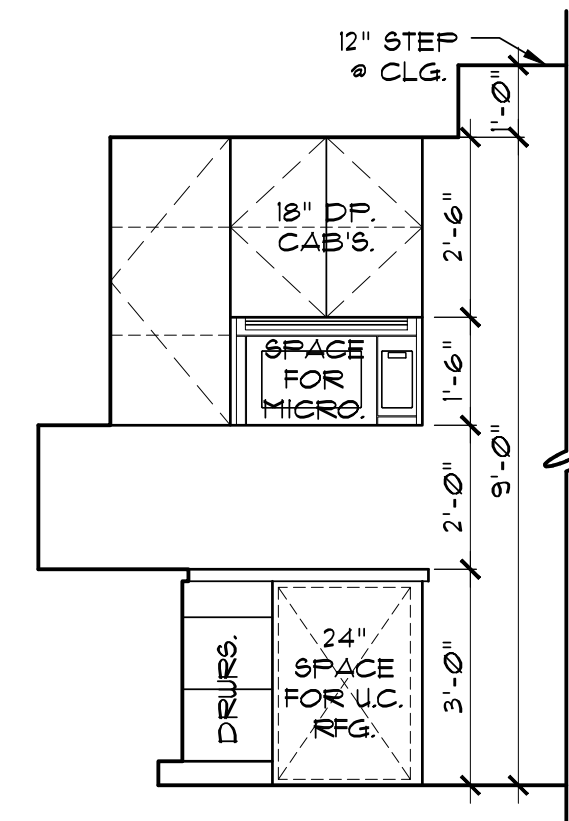
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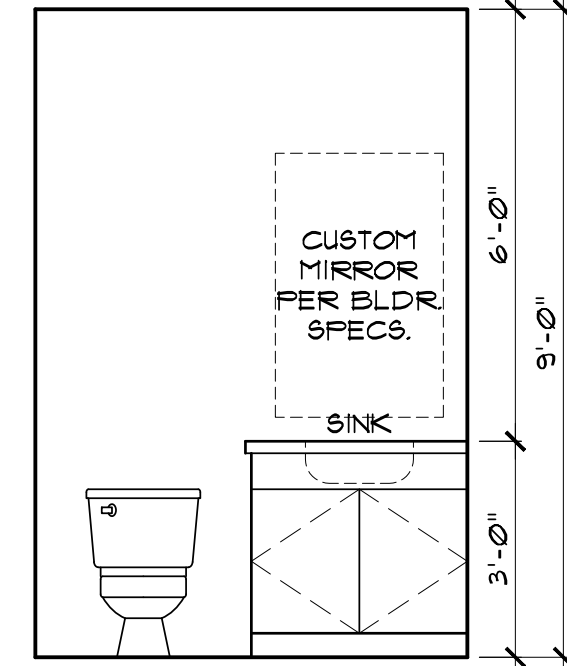
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61 BAR



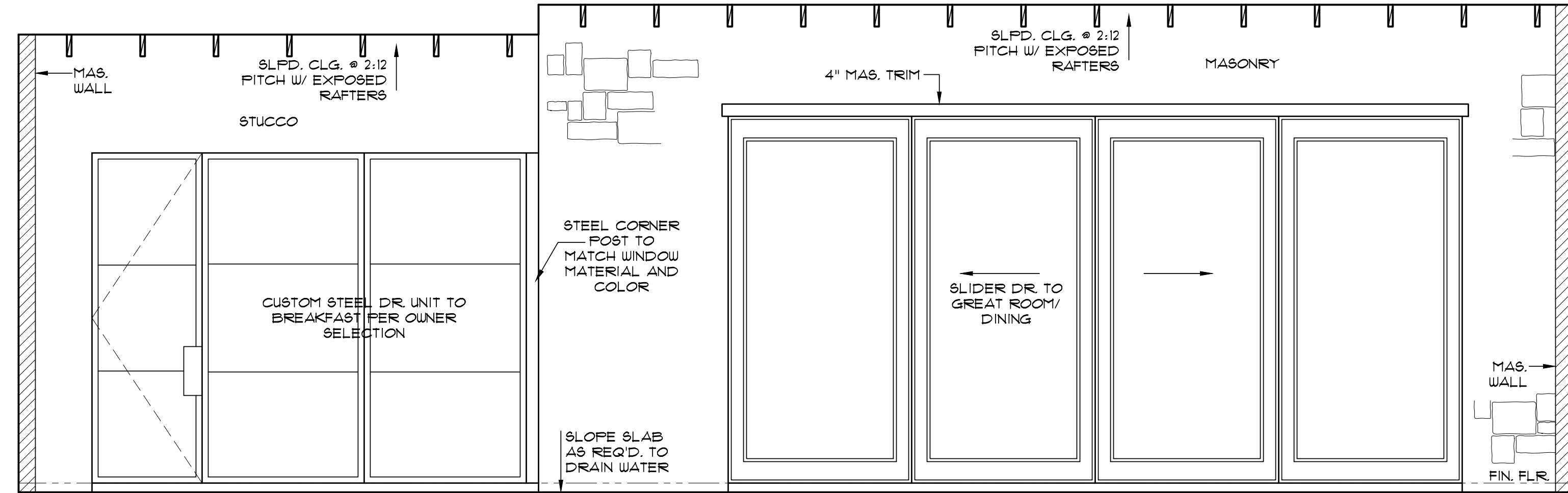
62 BAR



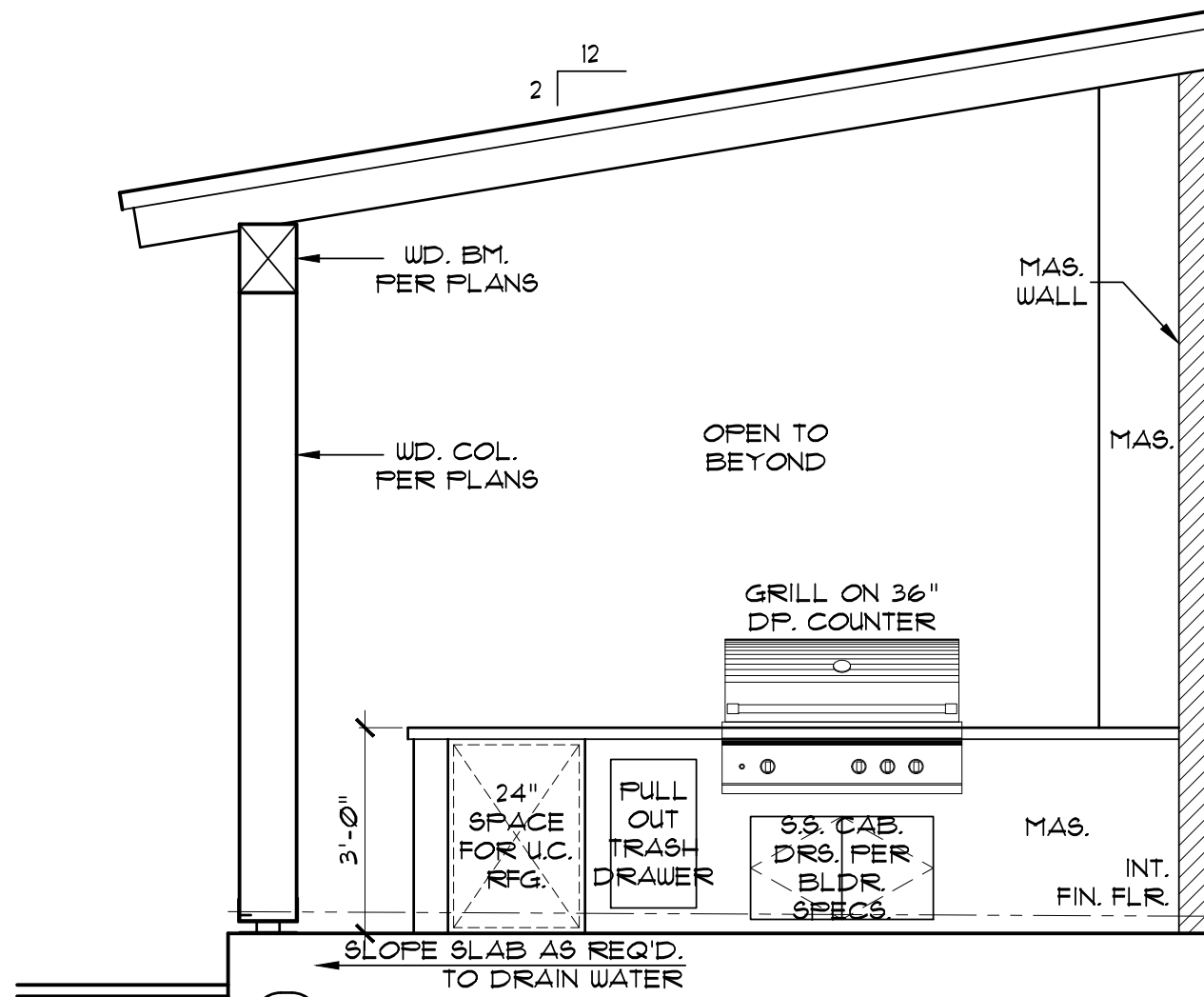
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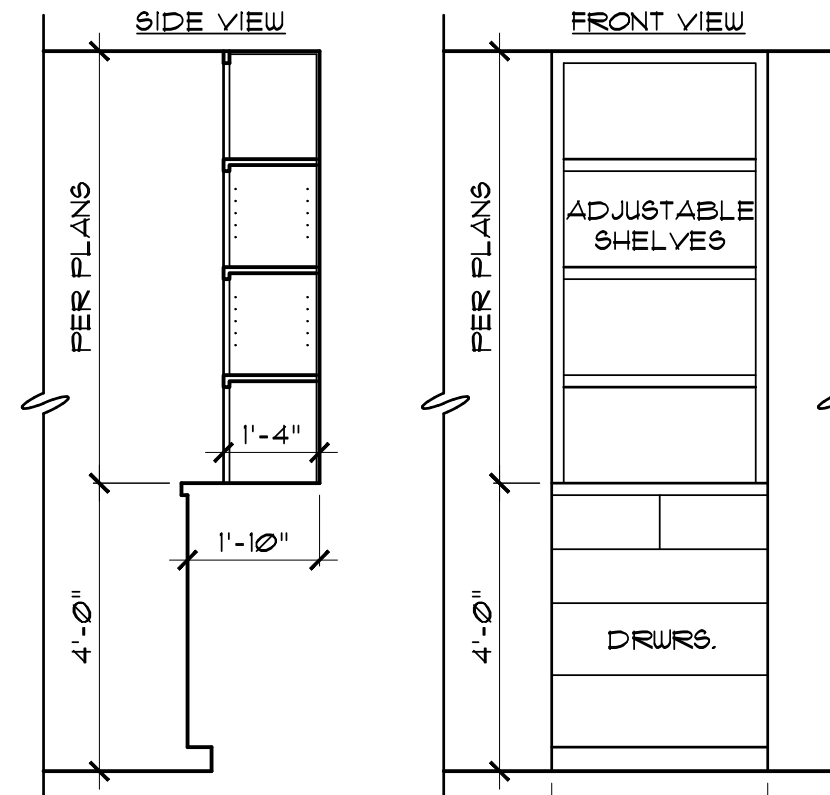
64 FRONT PORCH



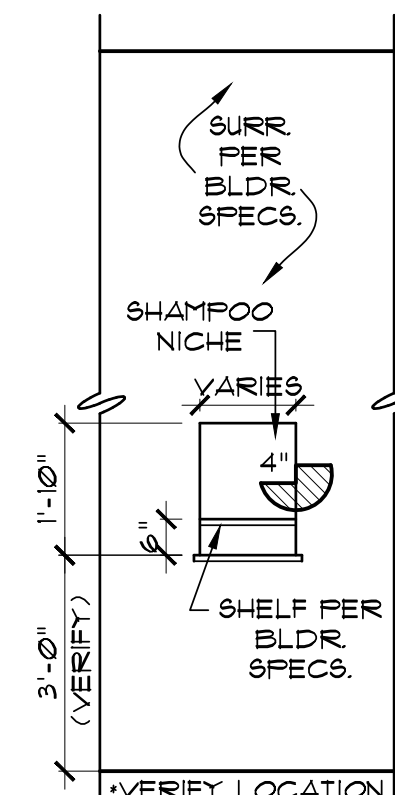
65 OUTDOOR DINING/ LIVING



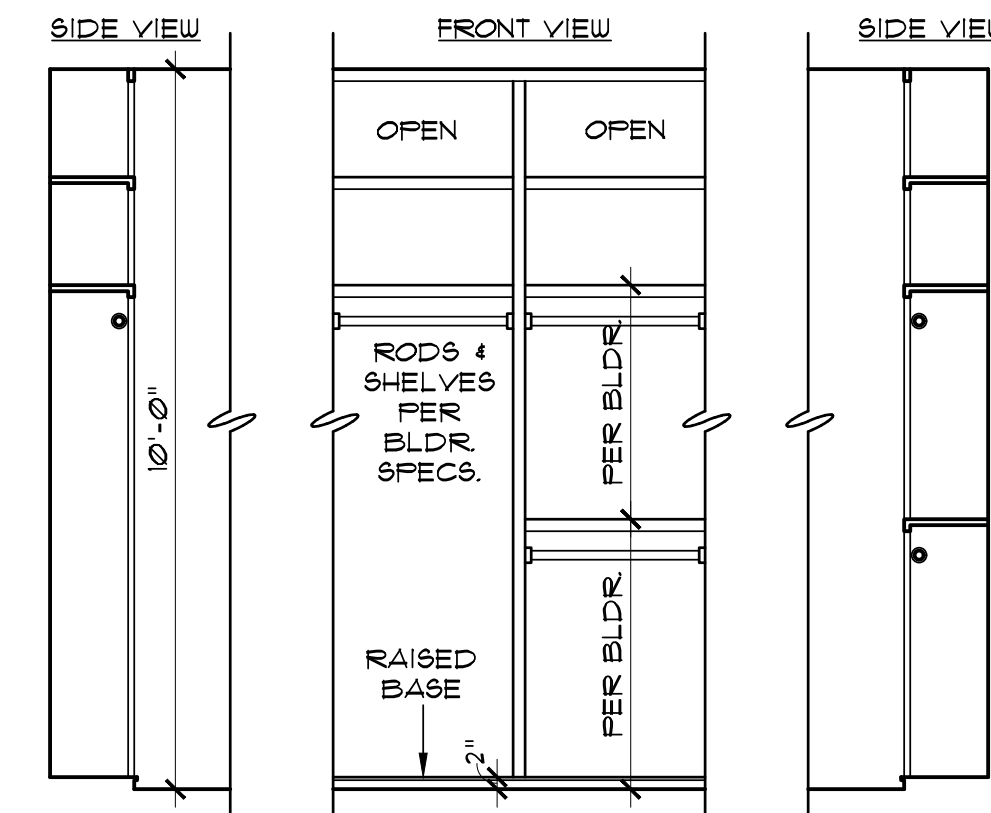
66 OUTDOOR DINING



TYP. DRESSER
DETAIL



TYPICAL SHAMPOO
NICHE DETAIL



TYPICAL CLOSET
ROD & SHELF DETAIL

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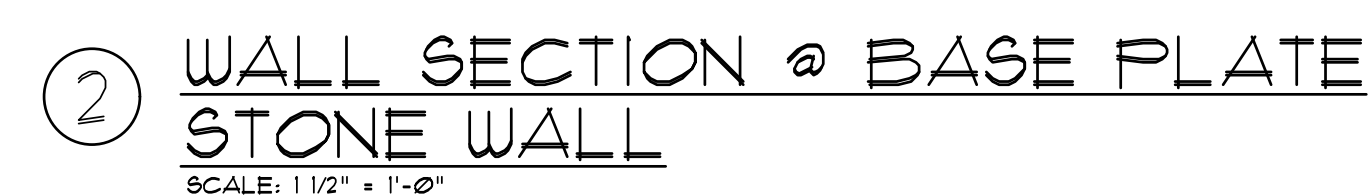
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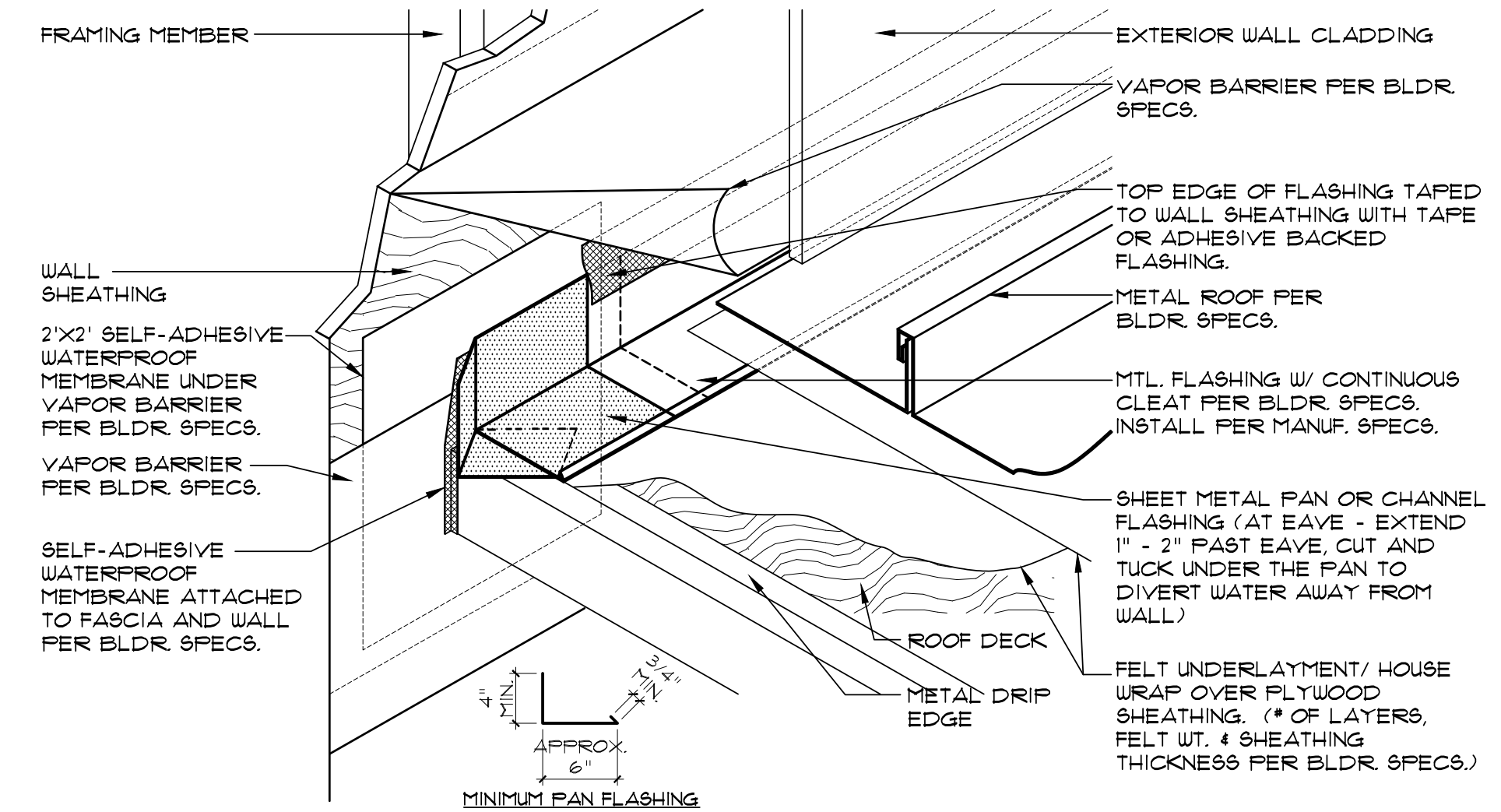
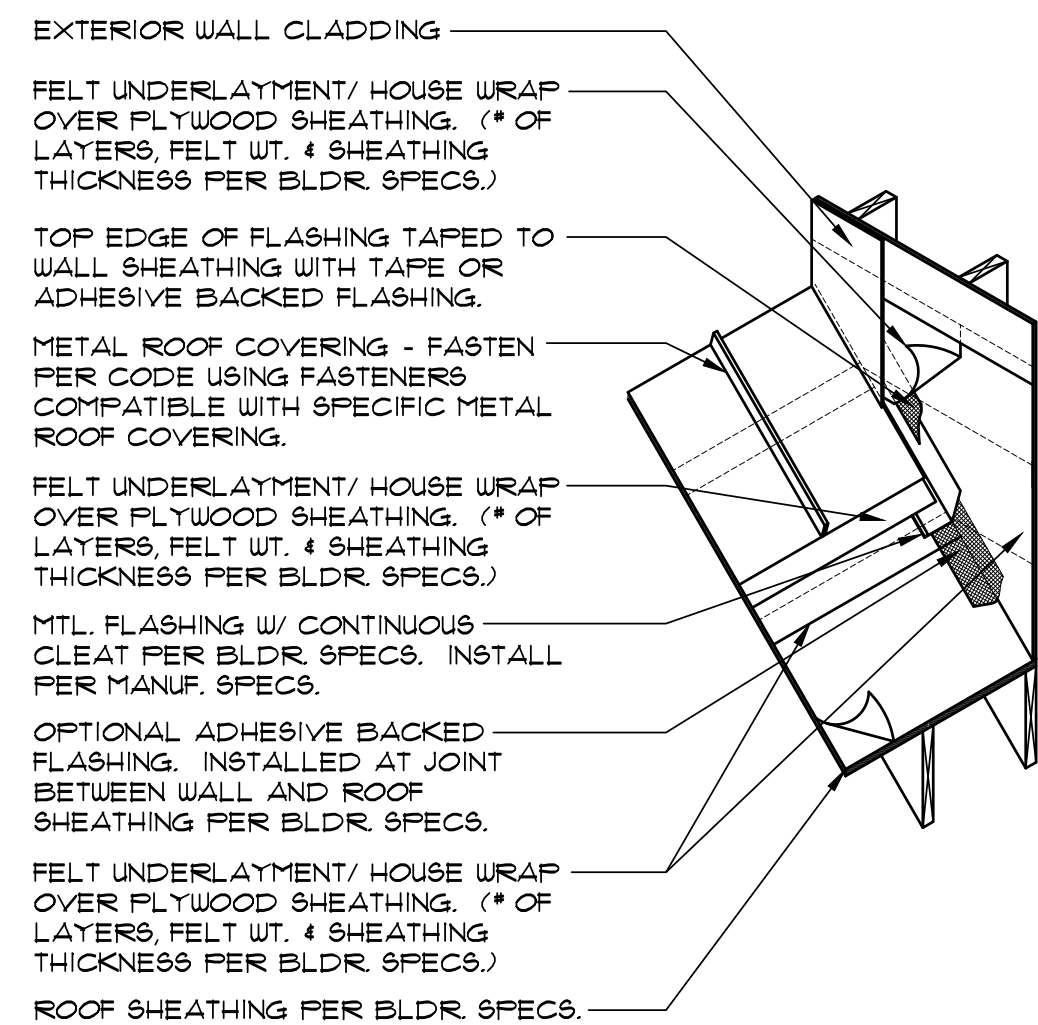
CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

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INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"

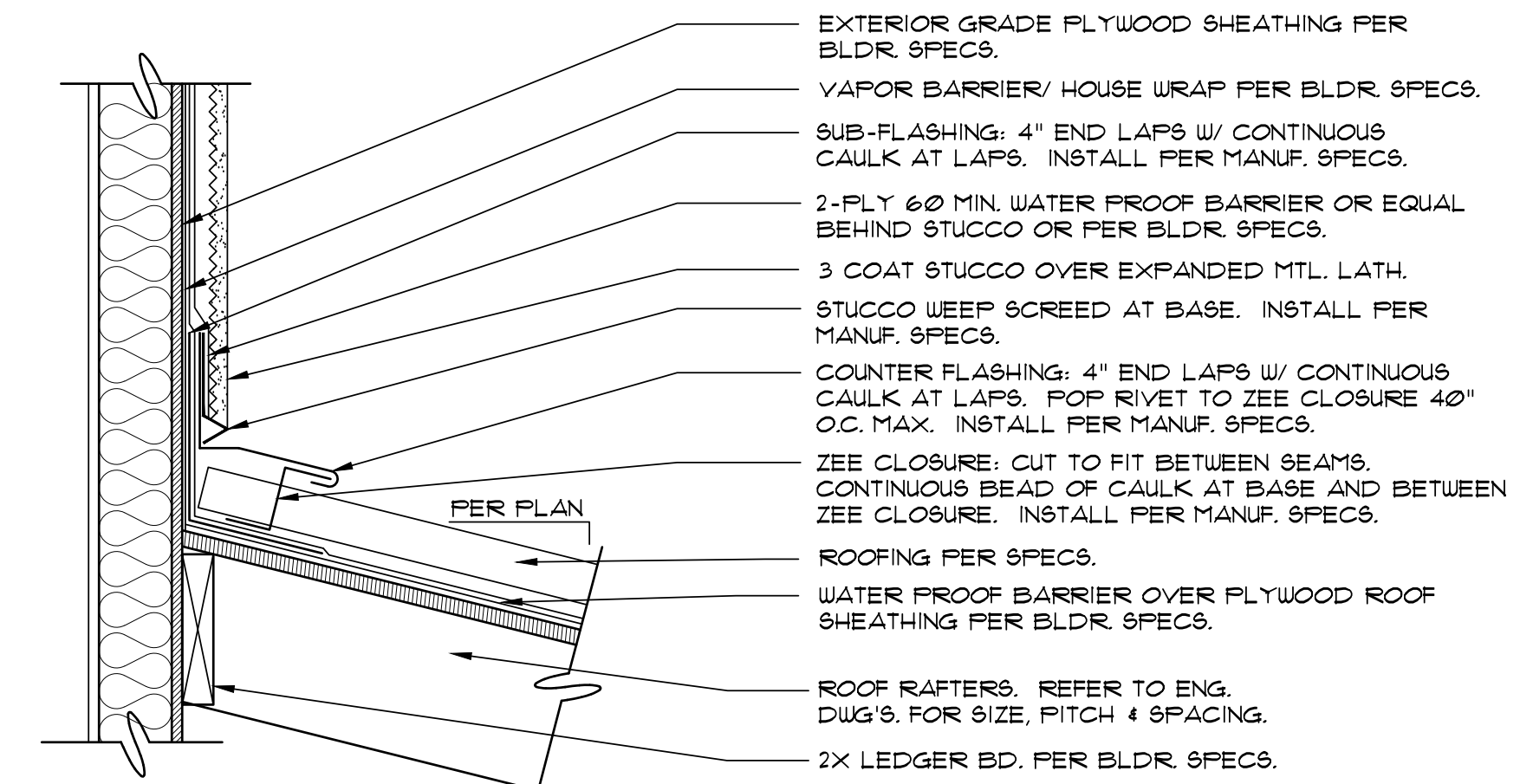
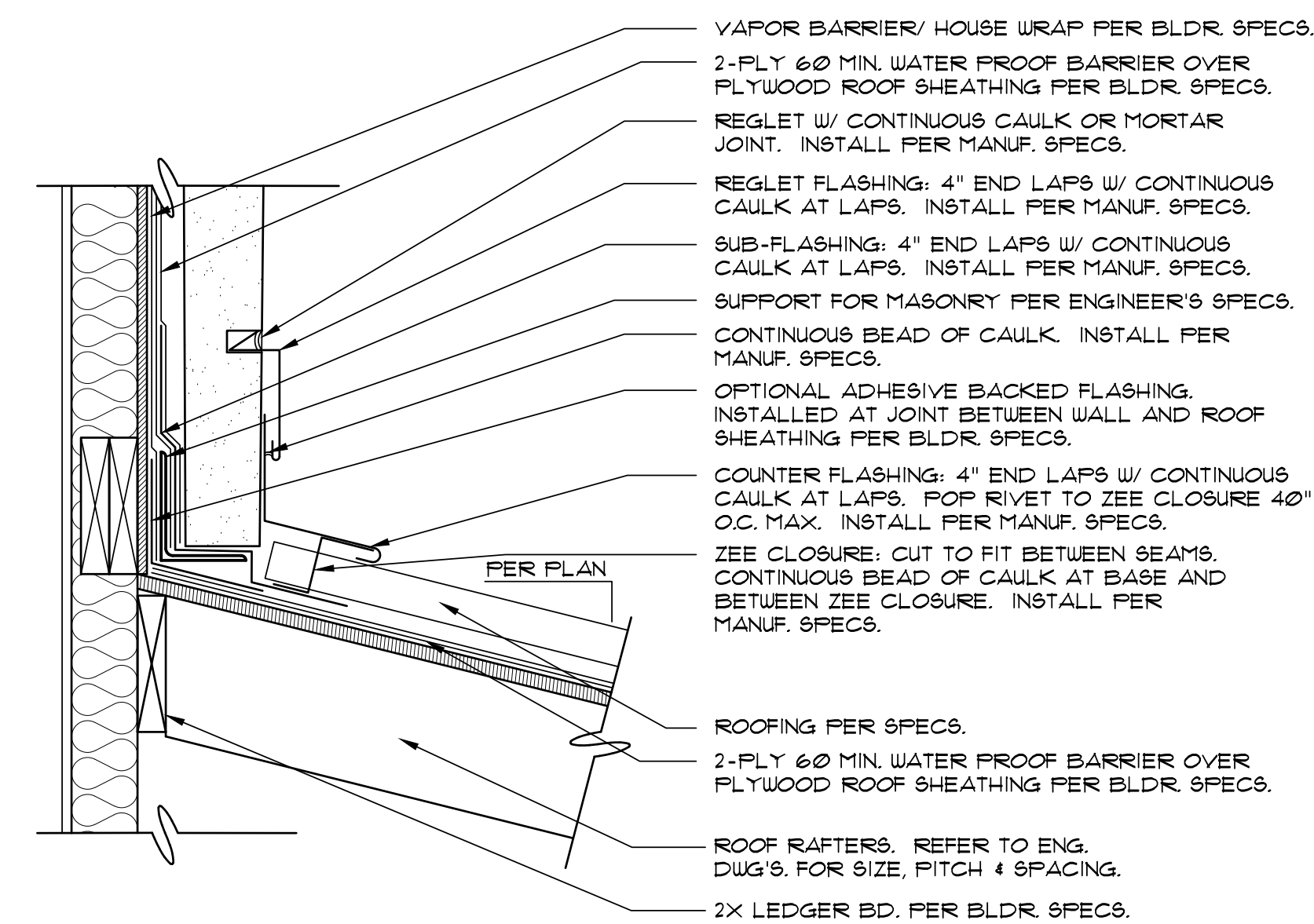
DMV

DM⁺



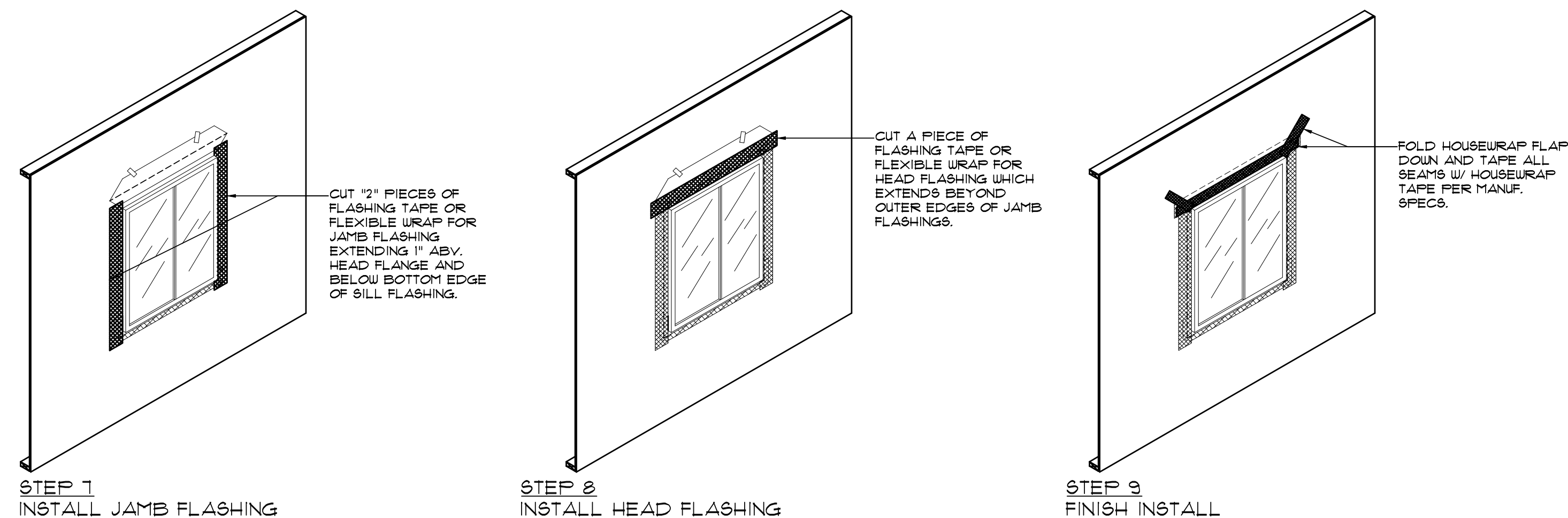
KICKOUT FLASHING DETAIL @ METAL ROOF

SCALE: N.T.S.

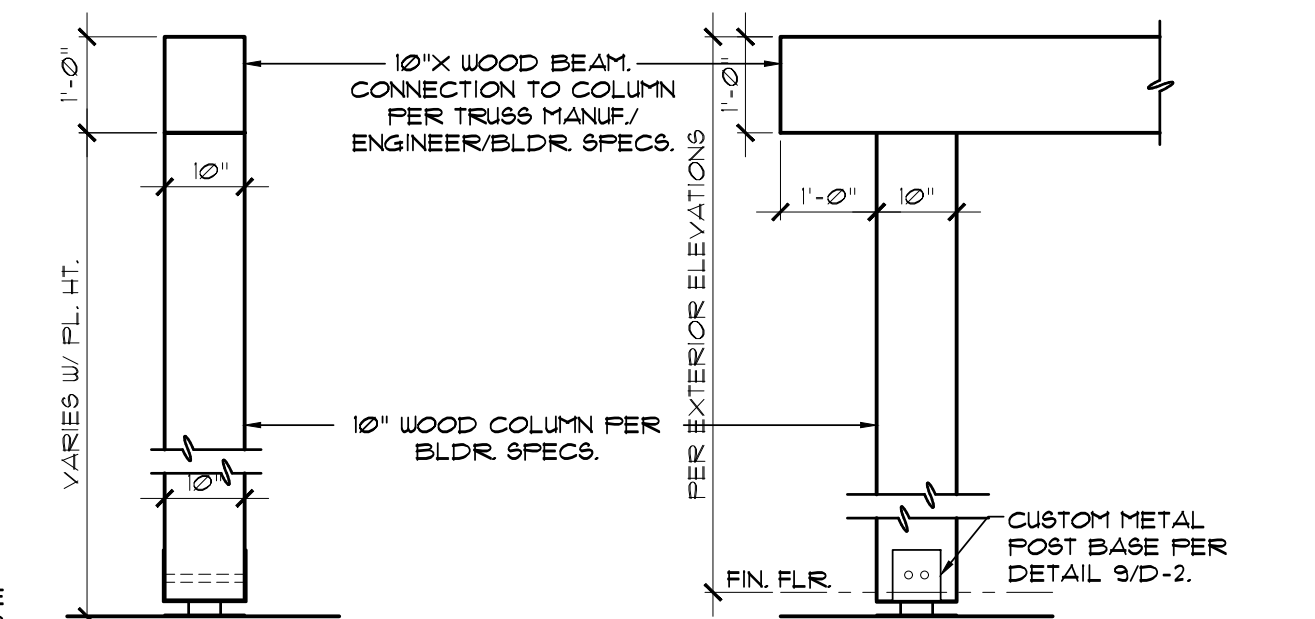


SCALE: N.T.S.

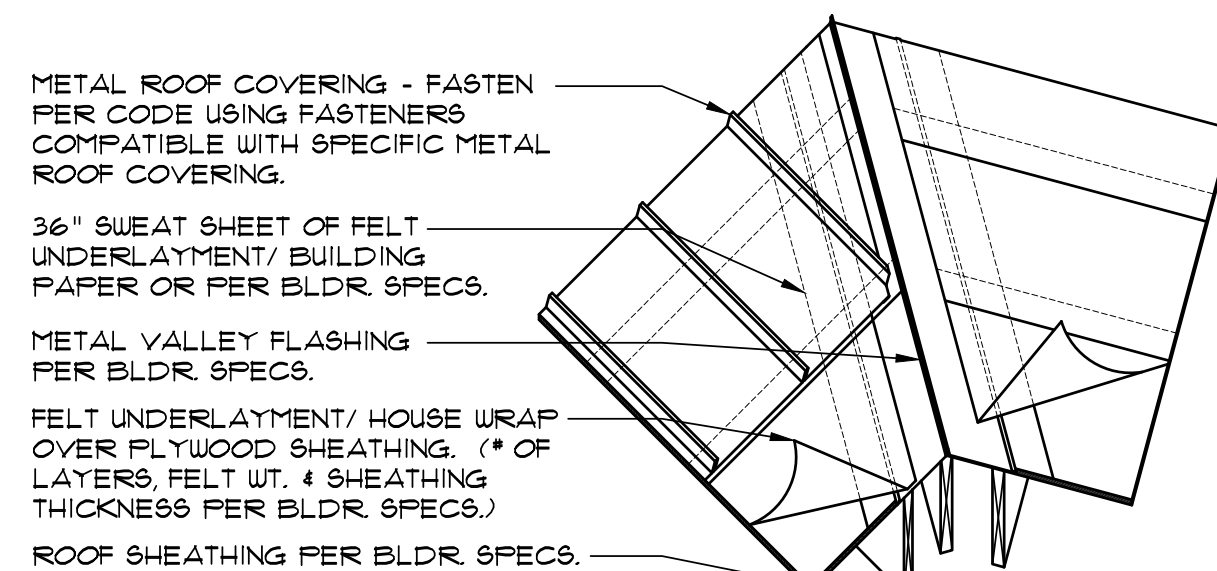
NOTE: ROOF MATERIAL & PITCH PER PLANS



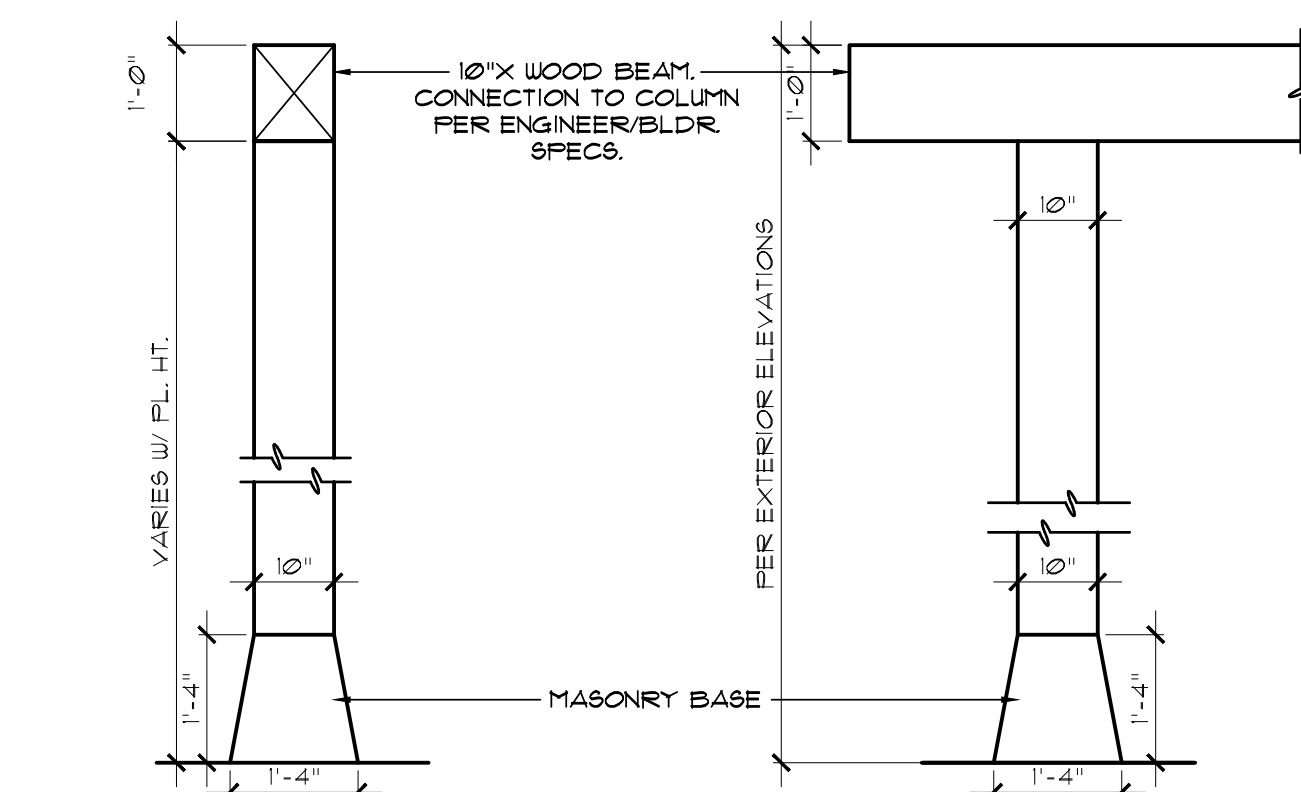
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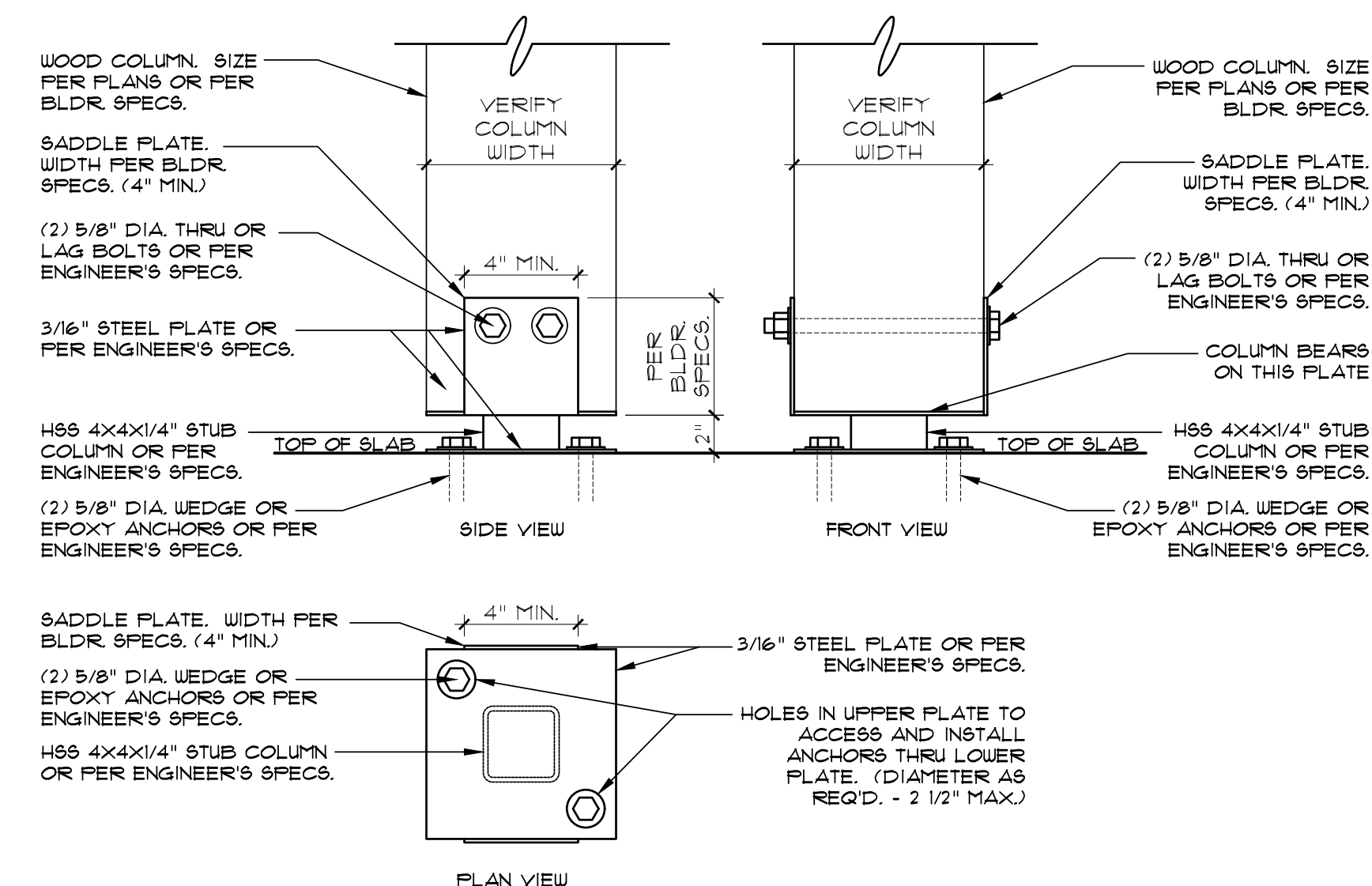
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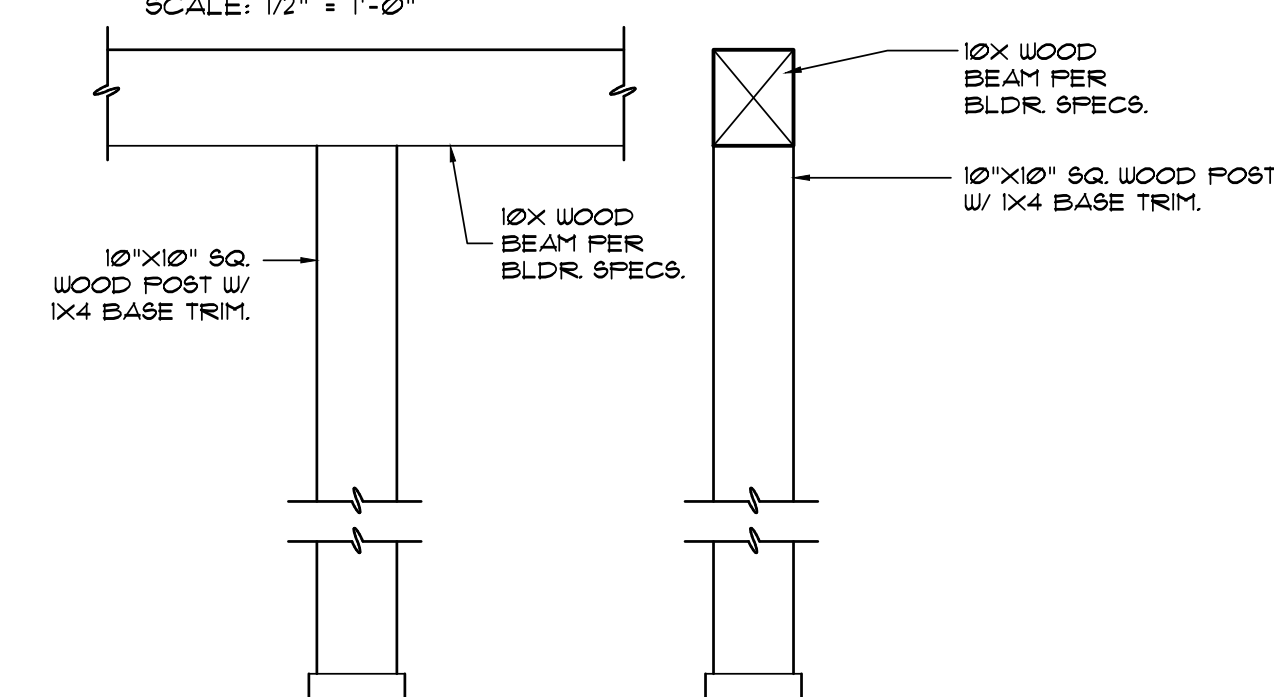
SCALE: N.T.S.



SCALE: 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"



SCALE 1/2" = 1' @

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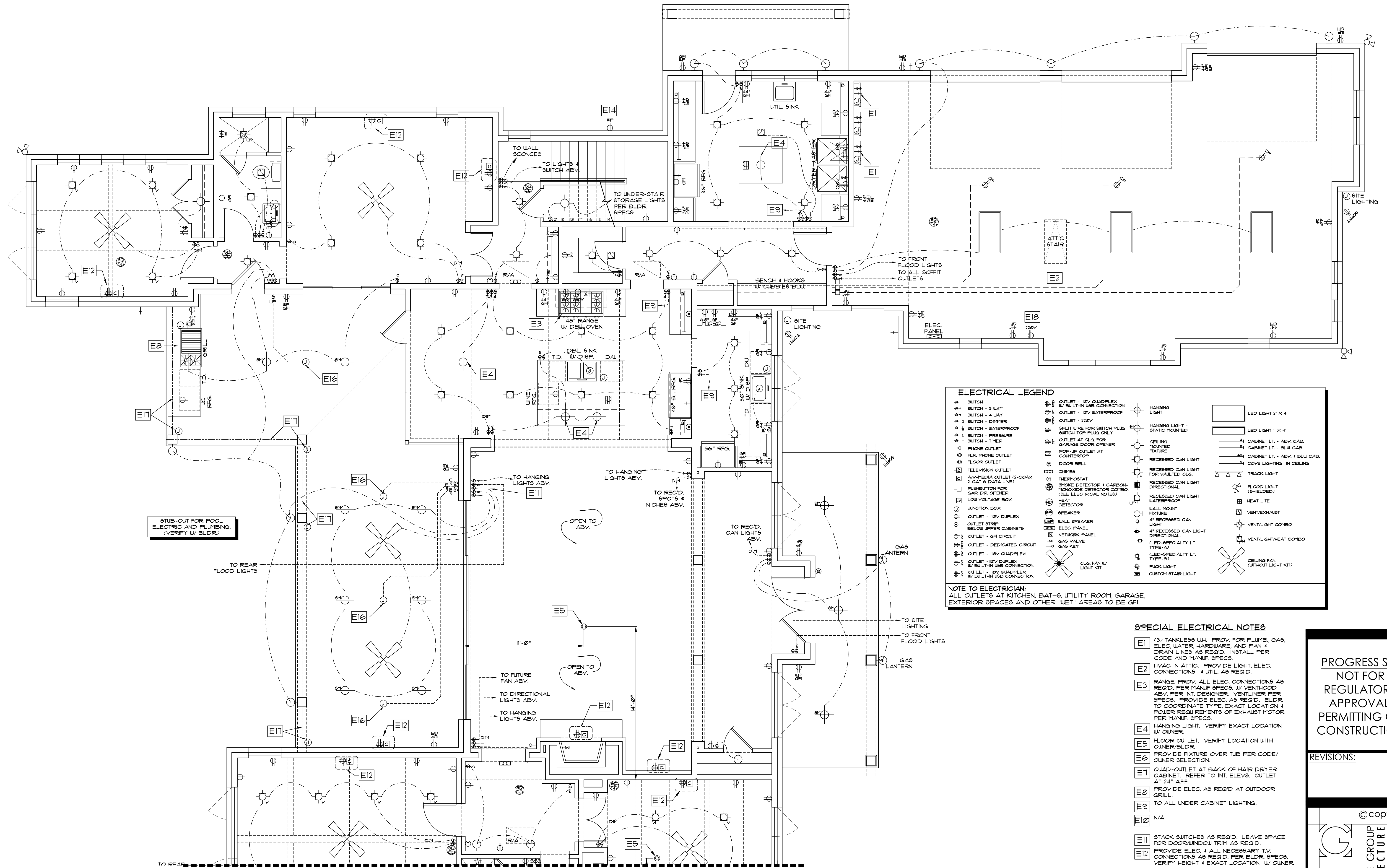
11200 R.R. 2222
AUSTIN, TEXAS 78730
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CANYON HOMES
SPEC. R.D.S. #4

PROJ. NO.: 25008
DATE: 28 MAR. 2025

D-2

DMV



ELECTRICAL LEGEND

● SWITCH	⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION	⊕ HANGING LIGHT	⊕ LED LIGHT 2' X 4'
● SWITCH - 3 WAY	⊕ OUTLET - 120V WATERPROOF	⊕ HANGING LIGHT - STATIC MOUNTED	⊕ LED LIGHT 1' X 4'
● SWITCH - 4 WAY	⊕ OUTLET - 220V	⊕ SPLIT WIRE FOR SWITCH PLUS SWITCH TOP PLUG ONLY	⊕ CABINET LT. - ABV. CAB.
● SWITCH - DRYER	⊕ OUTLET AT CLG. FOR GARAGE DOOR OPENER	⊕ CEILING MOUNTED FIXTURE	⊕ CABINET LT. - BLU. CAB.
● SWITCH - WATERPROOF	⊕ POP-UP OUTLET AT COUNTERTOP	⊕ RECESSED CAN LIGHT	⊕ CABINET LT. - ABV. 4 BLU. CAB.
● SWITCH - PRESSURE	⊕ DOOR BELL	⊕ RECESSED CAN LIGHT FOR VAULTED CLG.	⊕ COVE LIGHTING IN CEILING
● SWITCH - THER	⊕ CHIMES	⊕ RECESSED CAN LIGHT DIRECTIONAL	⊕ TRACK LIGHT
⊕ PHONE OUTLET	⊕ THERMOSTAT	⊕ RECESSED CAN LIGHT WATERPROOF	⊕ FLOOD LIGHT (SHIELDED)
⊕ FLOOR OUTLET	⊕ SMOKE DETECTOR 4 CARBON MONOXIDE DETECTOR COMBO (SEE ELECTRICAL NOTES)	⊕ WALL MOUNT FIXTURE	⊕ HEAT LITE
⊕ TELEVISION OUTLET	⊕ LOW VOLTAGE BOX	⊕ 4" RECESSED CAN LIGHT DIRECTIONAL	⊕ VENT/EXHAUST
⊕ 4-WAY MEDIA OUTLET (2-COAX 2-CAT 6 DATA LINE)	⊕ JUNCTION BOX	⊕ (LED) SPECIALTY LT. TYPE-A	⊕ VENT/LIGHT COMBO
⊕ PUSHBUTTON FOR GAR. DR. OPENER	⊕ OUTLET - 120V DUPLEX	⊕ (LED) SPECIALTY LT. TYPE-B	⊕ VENT/LIGHT/HEAT COMBO
⊕ LOW VOLTAGE BOX	⊕ OUTLET STRIP BELOW UPPER CABINETS	⊕ FLUO. LIGHT	⊕ CEILING FAN (WITHOUT LIGHT KIT)
⊕ JUNCTION BOX	⊕ OUTLET - 120V GFI CIRCUIT	⊕ CUSTOM STAIR LIGHT	
⊕ OUTLET - 120V DUPLEX	⊕ OUTLET - 120V QUADPLEX		
⊕ OUTLET - GFI CIRCUIT	⊕ OUTLET - 120V DUPLEX W/ BUILT-IN USB CONNECTION		
⊕ OUTLET - DEDICATED CIRCUIT	⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION		
⊕ OUTLET - 120V QUADPLEX			
⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION			

NOTE TO ELECTRICIAN:
ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

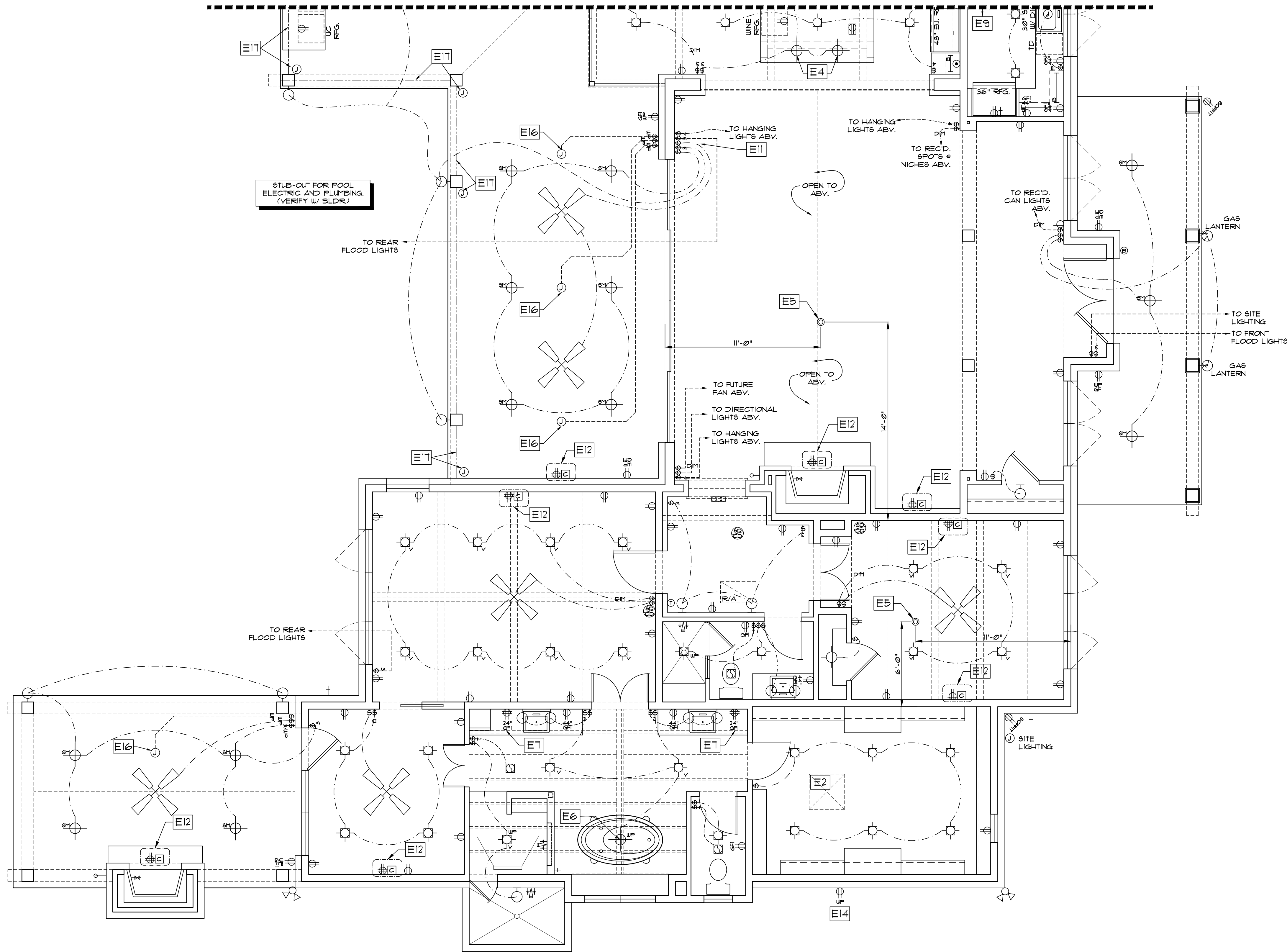
- SPECIAL ELECTRICAL NOTES**
- E1 (3) TANKLESS WH. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND FAN 4 DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
 - E2 HVAC IN ATTIC. PROVIDE LIGHT, ELEC. CONNECTIONS 4 UTIL. AS REQ'D.
 - E3 RANGE. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D. BLDR. TO COORDINATE TYPE, EXACT LOCATION 4 POWER REQUIREMENTS OF EXHAUST MOTOR PER MANUF. SPECS.
 - E4 HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
 - E5 FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BLDR.
 - E6 PROVIDE FIXTURE OVER TUB PER CODE/ OWNER SELECTION.
 - E7 QUAD-OUTLET AT BACK OF HAIR DRYER CABINET. REFER TO INT. ELEVS. OUTLET AT 24" AFF.
 - E8 PROVIDE ELEC. AS REQ'D AT OUTDOOR GRILL.
 - E9 TO ALL UNDER CABINET LIGHTING.
 - E10 N/A
 - E11 STACK SWITCHES AS REQ'D. LEAVE SPACE FOR DOOR/WINDOW TRIM AS REQ'D.
 - E12 PROVIDE ELEC. 4 ALL NECESSARY T.V. CONNECTIONS AS REQ'D. PER BLDR. SPECS. VERIFY HEIGHT 4 EXACT LOCATION W/ OWNER.
 - E13 BLOCK 4 WIRE IN ATTIC FOR FUTURE FAN PER BLDR. SPECS.
 - E14 PROVIDE ELEC. AS REQ'D. FOR HVAC MAINTENANCE EQUIPMENT WITHIN REACH OF CONDENSER UNIT.
 - E15 N/A
 - E16 PROVIDE ELEC. AS REQ'D. FOR INFRARED HEATERS AT CLG. VERIFY POWER REQUIREMENTS, HEATER LOC. 4 SWITCH LOC. W/ OWNER.
 - E17 CUSTOM DROP DOWN SHADES. PROVIDE POWER AS REQ'D. ABOVE
 - E18 PROVIDE ELEC. FOR E.V. CHARGING STATION. VERIFY LOC. W/ OWNER.

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CANYON HOMES
SPEC. R.D.S. # 4
PROJ. NO.: 25008
DATE: 28 MAR. 2025
E-2
DMV



ELECTRICAL LEGEND			
● SWITCH	● OUTLET - 110V QUADPLEX W/ BUILT-IN USB CONNECTION	○ HANGING LIGHT	□ LED LIGHT 2' X 4'
● SWITCH - 3 WAY	● OUTLET - 110V WATERPROOF	○ HANGING LIGHT - STATIC MOUNTED	□ LED LIGHT 1' X 4'
● SWITCH - 4 WAY	● OUTLET - 220V	○ SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY	— A1 — CABINET LT. - ABV. CAB.
● D. SWITCH - DIMMER	● OUTLET AT CLG. FOR GARAGE DOOR OPENER	○ OUTLET AT CLG. FOR COUNTERTOP	— A2 — CABINET LT. - BLU. CAB.
● SWITCH - WATERPROOF	● POP-UP OUTLET AT COUNTERTOP	○ DOOR BELL	— A3 — CABINET LT. - ABV. 4 BLU. CAB.
● SWITCH - PRESSURE	○ CHIMES	○ THERMOSTAT	— A4 — COVE LIGHTING IN CEILING
● SWITCH - THER	○ SMOKE DETECTOR 4 CARBON-MONOXIDE DETECTOR COMBO. (SEE ELECTRICAL NOTES)	○ RECESSED CAN LIGHT FOR VAULTED CLG.	△ TRACK LIGHT
○ PHONE OUTLET	○ LOW VOLTAGE BOX	○ RECESSED CAN LIGHT DIRECTIONAL	△ FLOOD LIGHT (SHIELDED)
○ FLOOR OUTLET	○ OUTLET - 110V DUPLEX	○ RECESSED CAN LIGHT WATERPROOF	△ HEAT LITE
○ TELEVISION OUTLET	○ OUTLET - 110V DUPLEX BELOW UPPER CABINETS	○ WALL MOUNT LIGHT	△ VENT/EXHAUST
○ AV-MEDIA OUTLET (2-COAX 2-CAT 6 DATA LINE)	○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ ELEC. PANEL	△ VENT/LIGHT COMBO
○ PUSH-BUTTON FOR GAR. OR OTHER	○ OUTLET - DEDICATED CIRCUIT	○ NETWORK PANEL	△ VENT/LIGHT/HEAT COMBO
○ PUSH-BUTTON FOR GAR. OR OTHER	○ OUTLET - 110V QUADPLEX	○ (LED-SPECIALTY LT. TYPE-A)	△ CEILING FAN (WITHOUT LIGHT KIT)
○ LOW VOLTAGE BOX	○ OUTLET - 110V QUADPLEX W/ BUILT-IN USB CONNECTION	○ (LED-SPECIALTY LT. TYPE-B)	
○ JUNCTION BOX	○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ (LED-SPECIALTY LT. TYPE-C)	
○ OUTLET - 110V DUPLEX	○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ FLUO. LIGHT	
○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ CUSTOM STAIR LIGHT	
○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION	○ OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION		

NOTE TO ELECTRICIAN:
ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

SPECIAL ELECTRICAL NOTES

- E1 (3) TANKLESS W.H. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND FAN 4 DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- E2 HVAC IN ATTIC. PROVIDE LIGHT, ELEC. CONNECTIONS 4 UTIL. AS REQ'D.
- E3 RANGE. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D. BLDR. TO COORDINATE TYP. EXACT LOCATION 4 POWER REQUIREMENTS OF EXHAUST MOTOR PER MANUF. SPECS.
- E4 HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
- E5 FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BLDR.
- E6 PROVIDE FIXTURE OVER TUB PER CODE/ OWNER SELECTION.
- E7 QUAD-OUTLET AT BACK OF HAIR DRYER CABINET. REFER TO INT. ELEV. OUTLET AT 24" AFF.
- E8 PROVIDE ELEC. AS REQ'D AT OUTDOOR GRILL.
- E9 TO ALL UNDER CABINET LIGHTING.
- E10 N/A
- E11 STACK SWITCHES AS REQ'D. LEAVE SPACE FOR DOOR/WINDOW TRIM AS REQ'D.
- E12 PROVIDE ELEC. 4 ALL NECESSARY T.V. CONNECTIONS AS REQ'D. PER BLDR. SPECS. VERIFY HEIGHT 4 EXACT LOCATION W/ OWNER.
- E13 BLOCK 4 WIRE IN ATTIC FOR FUTURE FAN PER BLDR. SPECS.
- E14 PROVIDE ELEC. AS REQ'D. FOR HVAC MAINTENANCE EQUIPMENT WITHIN REACH OF CONDENSER UNIT.
- E15 N/A
- E16 PROVIDE ELEC. AS REQ'D. FOR INFRARED HEATERS AT CLG. VERIFY POWER REQUIREMENTS, HEATER LOC. 4 SWITCH LOC. W/ OWNER.
- E17 CUSTOM DROP DOWN SHADES. PROVIDE POWER AS REQ'D. ABOVE
- E18 PROVIDE ELEC. FOR E.V. CHARGING STATION. VERIFY LOC. W/ OWNER.

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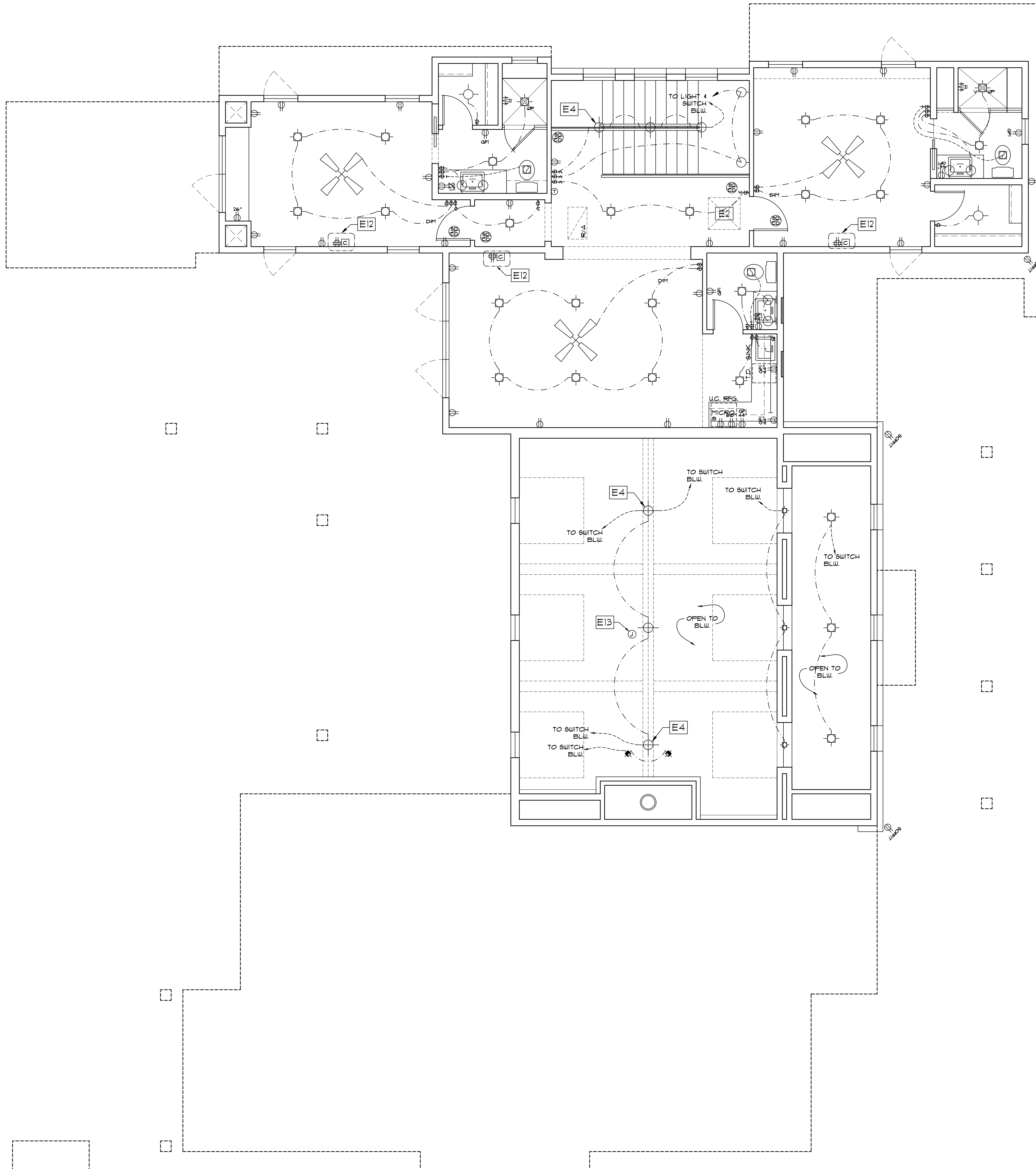
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CANYON HOMES
SPEC. R.D.S. #4
PROJ. NO.: 25008
DATE: 28 MAR. 2025

E-3

DMV

LOWER FLOOR ELECTRICAL PLAN (CONT'D.)
SCALE 1/4" = 1'-0"



ELECTRICAL LEGEND

● SWITCH	⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION	⊕ HANGING LIGHT	▭ LED LIGHT 2' X 4'
● SWITCH - 3 WAY	⊕ OUTLET - 120V WATERPROOF	⊕ HANGING LIGHT - STATIC MOUNTED	▭ LED LIGHT 1' X 4'
● SWITCH - 4 WAY	⊕ OUTLET - 220V	⊕ CEILING MOUNTED PICTURE	▭ CABINET LT. - ABV. CAB.
● SWITCH - DIMMER	⊕ SPLIT WIRE FOR SWITCH PLUS SWITCH TOP PLUS ONLY	⊕ RECESSED CAN LIGHT	▭ CABINET LT. - BLW. CAB.
● SWITCH - WATERPROOF	⊕ OUTLET AT CLG. FOR GARAGE DOOR OPENER	⊕ RECESSED CAN LIGHT FOR VAULTED CLG.	▭ CABINET LT. - ABV. 4 BLW. CAB.
● SWITCH - PREASURE	⊕ POP-UP OUTLET AT COUNTERTOP	⊕ RECESSED CAN LIGHT DIRECTIONAL	▭ COVE LIGHTING IN CEILING
● SWITCH - TRIPER	⊕ DOOR BELL	⊕ RECESSED CAN LIGHT WATERPROOF	▭ TRACK LIGHT
△ PHONE OUTLET	⊕ CHIMES	⊕ THERMOSTAT	▭ FLOOD LIGHT (SHIELDED)
⊕ FLOOR OUTLET	⊕ THERMOSTAT	⊕ SMOKE DETECTOR 4 CARBON- MONOXIDE DETECTOR COMBO. (SEE ELECTRICAL NOTES)	▭ HEAT LITE
⊕ TELEVISION OUTLET	⊕ SMOKE DETECTOR 4 CARBON- MONOXIDE DETECTOR COMBO. (SEE ELECTRICAL NOTES)	⊕ RECESSED CAN LIGHT WATERPROOF	▭ VENT/EXHAUST
⊕ AV-MEDIA OUTLET (2-COAX 2-CAT 6 DATA LINE)	⊕ HEAT DETECTOR	⊕ WALL MOUNT PICTURE	▭ VENT/LIGHT COMBO
⊕ PUSHBUTTON FOR GAR. DR. OPENER	⊕ SPEAKER	⊕ 4" RECESSED CAN LIGHT	▭ VENT/LIGHT/HEAT COMBO
⊕ LOW VOLTAGE BOX	⊕ WALL SPEAKER	⊕ 4" RECESSED CAN LIGHT DIRECTIONAL	⊕ VENT/LIGHT/HEAT COMBO
⊕ JUNCTION BOX	⊕ ELEC. PANEL	⊕ (LED-SPECIALTY LT. TYPE-A)	⊕ CEILING FAN (WITHOUT LIGHT KIT)
⊕ OUTLET - 120V DUPLEX	⊕ NETWORK PANEL	⊕ (LED-SPECIALTY LT. TYPE-B)	
⊕ OUTLET STRIP BELOW UPPER CABINETS	⊕ GAS VALVE	⊕ FLUOK LIGHT	
⊕ OUTLET - GFI CIRCUIT	⊕ GAS KEY	⊕ CUSTOM STAIR LIGHT	
⊕ OUTLET - DEDICATED CIRCUIT			
⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION			
⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION			
⊕ OUTLET - 120V QUADPLEX W/ BUILT-IN USB CONNECTION			

NOTE TO ELECTRICIAN:
ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE,
EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

SPECIAL ELECTRICAL NOTES

- E1

(3) TANKLESS W.H. PROV. FOR PLUMB, GAS,
ELEC, WATER, HARDWARE, AND FAN 4
DRAIN LINES AS REQ'D. INSTALL PER
CODE AND MANUF. SPECS.
- E2

HVAC IN ATTIC. PROVIDE LIGHT, ELEC,
CONNECTIONS 4 UTIL. AS REQ'D.
- E3

RANGE PROV. ALL ELEC. CONNECTIONS AS
REQ'D. PER MANUF. SPECS. W/ VENTHOOD
ABV. PER INT. DESIGNER. VENTLINER PER
SPECS. PROVIDE ELEC. AS REQ'D. BLDG.
TO COORDINATE TYPE, EXACT LOCATION 4
POWER REQUIREMENTS OF EXHAUST MOTOR
PER MANUF. SPECS.
- E4

HANGING LIGHT. VERIFY EXACT LOCATION
W/ OWNER.
- E5

FLOOR OUTLET. VERIFY LOCATION WITH
OWNER/BLDR.
- E6

PROVIDE FIXTURE OVER TUB PER CODE/
OWNER SELECTION.
- E7

QUAD-OUTLET AT BACK OF HAIR DRYER
CABINET. REFER TO INT. ELEVS. OUTLET
AT 24" AFF.
- E8

PROVIDE ELEC. AS REQ'D AT OUTDOOR
GRILL.
- E9

TO ALL UNDER CABINET LIGHTING.
- E10

N/A
- E11

STACK SWITCHES AS REQ'D. LEAVE SPACE
FOR DOOR/WINDOW TRIM AS REQ'D.
- E12

PROVIDE ELEC. 4 ALL NECESSARY T.V.
CONNECTIONS AS REQ'D. PER BLDG. SPECS.
VERIFY HEIGHT 4 EXACT LOCATION W/ OWNER
PER BLDG. SPECS.
- E13

BLOCK 4 WIRE IN ATTIC FOR FUTURE FAN
PER BLDG. SPECS.
- E14

PROVIDE ELEC. AS REQ'D. FOR HVAC
MAINTENANCE EQUIPMENT WITHIN REACH OF
CONDENSER UNIT.
- E15

N/A
- E16

PROVIDE ELEC. AS REQ'D. FOR INFRARED
HEATERS AT CLG. VERIFY POWER
REQUIREMENTS, HEATER LOC. 4 SWITCH
LOC. W/ OWNER.
- E17

CUSTOM DROP DOWN SHADES. PROVIDE
POWER AS REQ'D ABOVE
- E18

PROVIDE ELEC. FOR EV. CHARGING
STATION. VERIFY LOC. W/ OWNER.

UPPER FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

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DMV